

Drain: SHELBORNE GREENE DRAIN Drain #: 274  
Improvement/Arm: SHELBORNE GREENE - SECTION 2  
Operator: JDH Date: 7-22-04  
Drain Classification: Urban/Rural Year Installed: 1995

### GIS Drain Input Checklist

- Pull Source Documents for Scanning JDH
- Digitize & Attribute Tile Drains N/A
- Digitize & Attribute Storm Drains JDH
- Digitize & Attribute SSD JDH
- Digitize & Attribute Open Ditch N/A
- Stamp Plans JDH
- Sum drain lengths & Validate JDH
- Enter Improvements into Posse JDH
- Enter Drain Age into Posse \_\_\_\_\_
- Sum drain length for Watershed in Posse \_\_\_\_\_
- Check Database entries for errors JDH

**Gasb 34 Footages for Historical Cost**  
**Drain Length Log**

Drain-Improvement: SHELBOURNE GREENE DRAIN - SHELBOURNE GREENE - SECTION 2

Drain Type:	Size:	Length <small>SURVEYORS RECORD</small>	Length (DB Query)	Length Reconcile	If Applicable	
					Price:	Cost:
SSD	6"	7,273'	7,273'	Ø		
RCP	12"	1,962'	1,796'	-166		
	15"	52'	30'	-22'		
	18"	263'	454'	+191'		
	21"	44'	44'	Ø		
	24"	317'	317'	Ø		
	30"	169'	169'	Ø		
	36"	729'	729'	Ø		
	42"	211'	211'	Ø		

Sum: 11,020'    11,023'    +3'

Final Report: \_\_\_\_\_

Comments:

SR AND AG DISAGREE ON 12", 15", AND 18" RCP LENGTHS



SURVEYOR'S OFFICE

# Hamilton County

*Kenton C. Ward, Surveyor*

*Phone (317) 776-8495*

*Fax (317) 776-9628*

*Suite 146*

*One Hamilton County Square*

*Noblesville, Indiana 46060-2230*

September 5, 1996

TO: HAMILTON COUNTY DRAINAGE BOARD

RE: Shelborne Greene Drain-Section 2 Arm

Attached is a petition, plans, non-enforcement request, calculations, quantity summary and assessment roll for the Section 2 Arm Shelborne Drain. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6" SSD 5,787 feet	21" RCP 45 feet	42" RCP 208 feet
12" RCP 1,992 feet	24" RCP 317 feet	
15" RCP 52 feet	30" RCP 168 feet	
18" RCP 267 feet	36" RCP 725 feet	

The total length of the drain will be 9,561 feet.

The retention pond (lake #4) located on the Golf Course property is not to be considered part of the regulated drain. Only the inlet and outlet will be maintained as part of the regulated drain. The maintenance of the pond (lake) will be the responsibility of the Twin Lakes Golf Course. The Board will however, retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Thereby, allowing no fill or easement encroachments.

Page #2

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines between lots or rear yards. Only the main SSD lines which are located within the Easement/Right of Way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain. The portion of the SSD which will be regulated other than those under curbs are as follows:

Rear Lots 57-60

Lots 44-49

I have reviewed the plans and believe the drain will benefit each lot equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$30.00 per lot, \$5.00 per acre for roadways, with a \$30.00 minimum. With this assessment the total annual assessment for this section will be \$ 16,340<sup>00</sup>.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain the Board also approved the non-enforcement request. This request is for the reduction of the regulated drain easement to those easement widths as shown on the secondary plat for Shelborne Greene-Section 2, as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for October 28, 1996.

---

Kenton C. Ward  
Hamilton County Surveyor  
KCW/no

# First Fidelity & Guaranty Co., Inc.

P.O. Box 501422  
Indianapolis, IN 46250-6422

August 2, 1995

Irrevocable Credit No. SBG-2-DRA

The Board of Hamilton County Commissioners,  
Hamilton County, Indiana  
One Hamilton County Square  
Noblesville, Indiana 46060

Gentlemen:

We hereby establish our Irrevocable Standby Letter of Credit No. SBG-2-DRA in your favor, at the request and for the account of Davis Homes, LLC, an Indiana limited liability company, 3755 East 82nd Street, Suite 120, Indianapolis, Indiana 46240 (the "Developer"), for any sum or sums not exceeding One Hundred Forty-Four Thousand Six Hundred Twenty and 00/100 Dollars (\$144,620.00), available upon presentation by the Board of Hamilton County Commissioners of a letter enumerating any and all improvements not completed by Developer in connection with the storm sewers and subsurface drains in Shelborne Greene, Section 2, Carmel Plat Docket No. 20-95 PP (Secondary Plat), as required by the Hamilton County Surveyor's Office.

The drafts drawn under this Letter of Credit, must state "Drawn under Letter of Credit No. SBG-2-DRA of First Fidelity & Guaranty Co., Inc., dated August 2, 1995." The amounts of the drafts must be noted on the back of this Letter of Credit by the negotiating bank and/or agency.

This Letter of Credit is effective as of August 2, 1995 and shall expire on August 1, 1996, but such expiration date shall be automatically extended for a period of one year on August 2, 1996, and on each successive expiration date, unless a release is received from the Board of Hamilton County Commissioners or we notify both the Board of Hamilton County Commissioners and the Developer by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Board of Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Board of Hamilton County Commissioners, as shown on the signed return receipt.

The credit established by this Letter and our obligation to

Board of Hamilton  
County Commissioners,  
page 2

pay same shall not be affected by the receivership, bankruptcy or insolvency of the Developer or the attachment of its property. Nor shall this credit or our obligation to pay same be affected by any security agreement between the Developer and ourselves.

Whenever this letter of credit is drawn on under and in compliance with the terms of this Letter of Credit, we shall pay the amount of the draft directly to the Board of Hamilton County Commissioners or in accordance with its instructions.

Sincerely,

First Fidelity & Guaranty Co., Inc.

By

  
(Authorized Signature)

F	Credit No. <u>SPG-Z-DNA</u>	F
F	Date <u>8/2/95</u>	F
&	Amount <u>144,620.00</u>	&
G	Code Approval <u>DM</u>	G

# First Fidelity & Guaranty Co., Inc.

P.O. Box 501422  
Indianapolis, IN 46250-6422

August 2, 1995

Irrevocable Credit No. SBG-2-EC

The Board of Hamilton County Commissioners,  
Hamilton County, Indiana  
One Hamilton County Square  
Noblesville, Indiana 46060

Gentlemen:

We hereby establish our Irrevocable Standby Letter of Credit No. SBG-2-EC in your favor, at the request and for the account of Davis Homes, LLC, an Indiana limited liability company, 3755 East 82nd Street, Suite 120, Indianapolis, Indiana 46240 (the "Developer"), for any sum or sums not exceeding Ten Thousand and 00/100 Dollars (\$10,000.00), available upon presentation by the Board of Hamilton County Commissioners of a letter enumerating any and all improvements not completed by Developer in connection with the erosion control in Shelborne Greene Section 2, Carmel Plat Docket No. 20-95 PP (Secondary Plat), as required by the Hamilton County Surveyor's Office.

The drafts drawn under this Letter of Credit, must state "Drawn under Letter of Credit No. SBG-2-EC of First Fidelity & Guaranty Co., Inc., dated August 2, 1995." The amounts of the drafts must be noted on the back of this Letter of Credit by the negotiating bank and/or agency.

This Letter of Credit is effective as of August 2, 1995 and shall expire on August 1, 1996, but such expiration date shall be automatically extended for a period of one year on August 2, 1996, and on each successive expiration date, unless a release is received from the Board of Hamilton County Commissioners, or we notify both the Board of Hamilton County Commissioners and the Developer by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Board of Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Board of Hamilton County Commissioners, as shown on the signed return receipt.

Board of Hamilton  
County Commissioners,  
page 2

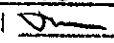
The credit established by this Letter and our obligation to pay same shall not be affected by the receivership, bankruptcy or insolvency of the Developer or the attachment of its property. Nor shall this credit or our obligation to pay same be affected by any security agreement between the Developer and ourselves.

Whenever this letter of credit is drawn on under and in compliance with the terms of this Letter of Credit, we shall pay the amount of the draft directly to the Board of Hamilton County Commissioners or in accordance with its instructions.

Sincerely,

First Fidelity & Guaranty Co., Inc.

By   
(Authorized Signature)

F	Credit No. <u>586-2-2C</u>	F
F	Date <u>8/2/55</u>	F
&	Amount <u>10000.00</u>	&
G	Code Approval <u></u>	G



CERTIFICATE OF COMPLETION AND COMPLIANCE

TO: HAMILTON COUNTY SURVEYOR

RE: Shelborne Greene Section 2

I hereby certify that:

- 1.) I am a Registered Engineer - In the State of Indiana,
- 2.) I am familiar with the plans and specifications for the above referenced subdivision,
- 3.) I have personally observed and supervised the completion of the Drainage Facilities for the above referenced subdivision, and
- 4.) To the best of my knowledge, information and belief, the Drainage Facilities within the subdivision has been installed and completed in conformity with all plans and specifications.

Signature: Christopher R. White Date: 12-4-97

Type or Printed Name: Christopher R. White

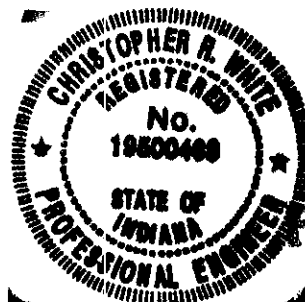
Business Address: Davis Homes, LLC

3755 East 82nd Street, Suite 120, Indianapolis, IN 46240

Telephone: 595-2903

INDIANA REGISTERED NUMBER

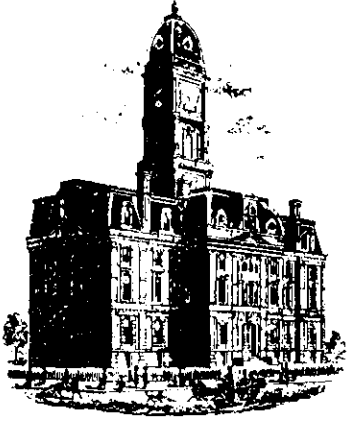
19500469



FILED

DEC 04 1997

OFFICE OF HAMILTON COUNTY SURVEYOR



SURVEYOR'S OFFICE  
**Hamilton County**

*Kenton C. Ward, Surveyor*

*Phone (317) 776-8495*

*Fax (317) 776-9628*

*Suite 146*

*One Hamilton County Square*

*Noblesville, Indiana 46060-2230*

To: Hamilton County Drainage Board

January 12, 1998

**Re: Shelborne Green Drain: Sec. 2 Arm**

Attached are as-builts, certificate of completion & compliance, and other information for the Shelborne Green Sec. 2. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain which will alter the plans submitted with my report for this drain dated September 5, 1996. The changes are as follows:

- Str.784-774 12"RCP lengthened from 38'ft to 39'ft.
- Str.773-772 30"RCP lengthened from 168'ft to 169'ft.
- Str.772-771 36"RCP lengthened from 258'ft to 260'ft.
- Str.771-770 36"RCP lengthened from 269'ft to 271'ft.
- Str.768-767 42"RCP lengthened from 178'ft to 181'ft.
- Str.779-778 12"RCP shortened from 142'ft to 120'ft.
- Str.778-777 12"RCP shortened from 45'ft to 41'ft.
- Str.774-779 21"RCP shortened from 45'ft to 44'ft.
- Str.779-770 12"RCP lengthened from 225'ft to 226'ft.
- Str.782-773 18"RCP shortened from 24'ft to 22'ft.
- Str.788-787 12"RCP shortened from 85'ft to 84'ft.
- Str.787-772 12"RCP shortened from 105'ft to 104'ft.
- Str.781-780 12"RCP lengthened from 160'ft to 161'ft..
- Str.796-795 12"RCP shortened from 14'ft to 7'ft.
- Str.801-800 12"RCP shortened from 74'ft to 73'ft.
- Str.799-798 12"RCP lengthened from 190'ft to 191'ft.
- Str.798-777 12"RCP shortened from 43'ft to 42'ft.
- Str.793-792 12"RCP lengthened from 260'ft to 262'ft.
- Str.792-773 18"RCP shortened from 165'ft to 163'ft.

The corrected total of 6"SSD is 7,273'ft.

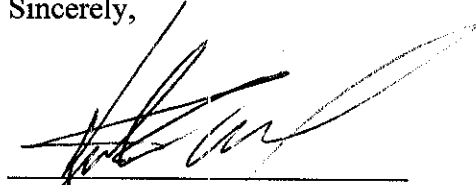
The length of the drain due to the changes described above is now <sup>11,020'</sup>~~11,023~~ feet.

The non-enforcement was approved by the Board at its meeting on October 28, 1996 and recorded under instrument #9709737330.

The bond or letter of credit from First Fidelity & Guaranty Co., number SBG-2-DRA; dated August 2, 1995; in the amount of \$144,620.00 for storm sewers and subsurface drainage; was recommended for release in a letter to the Commissioners dated January 12, 1998.

I recommend the Board approve the drains construction as complete and acceptable.

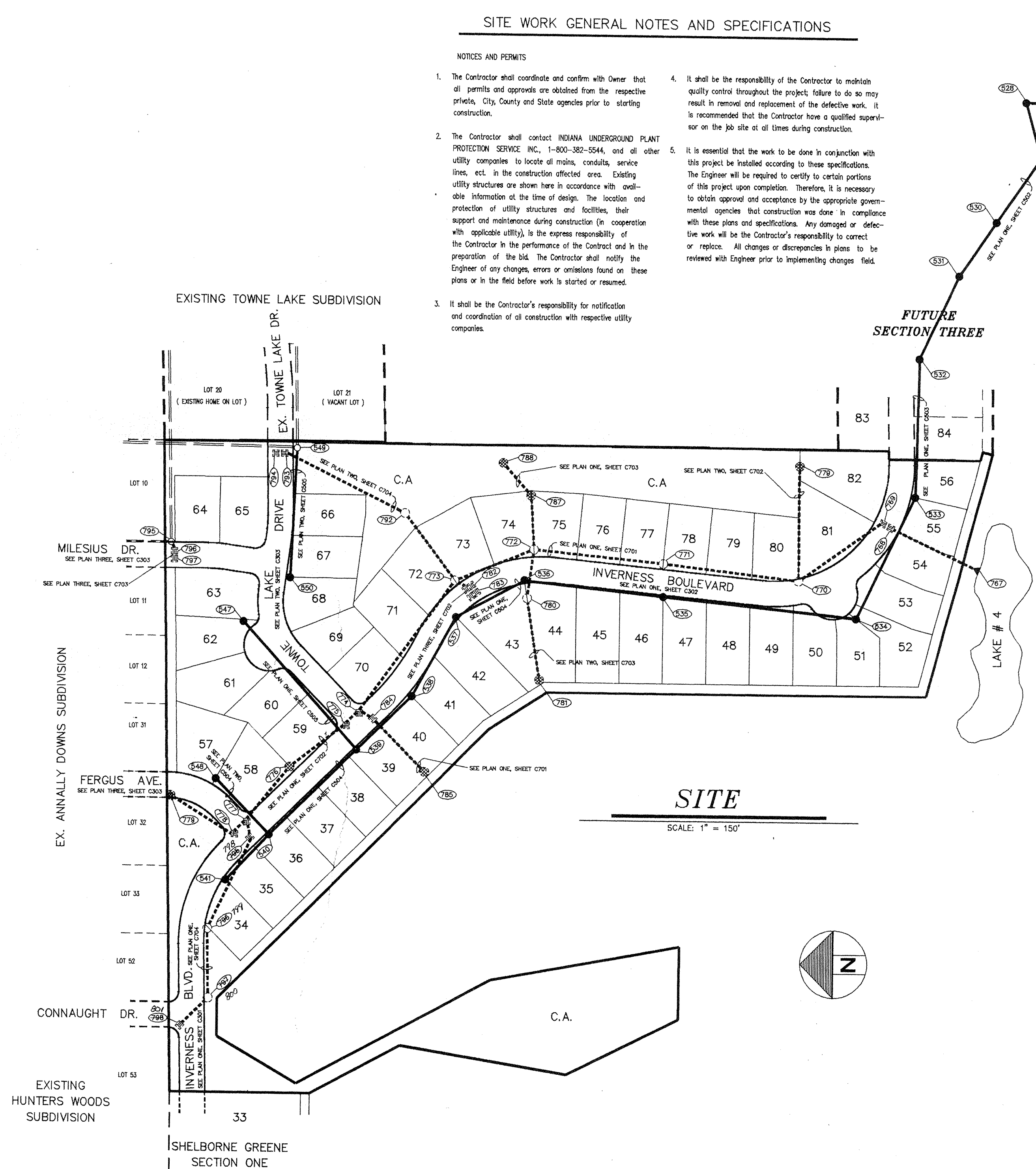
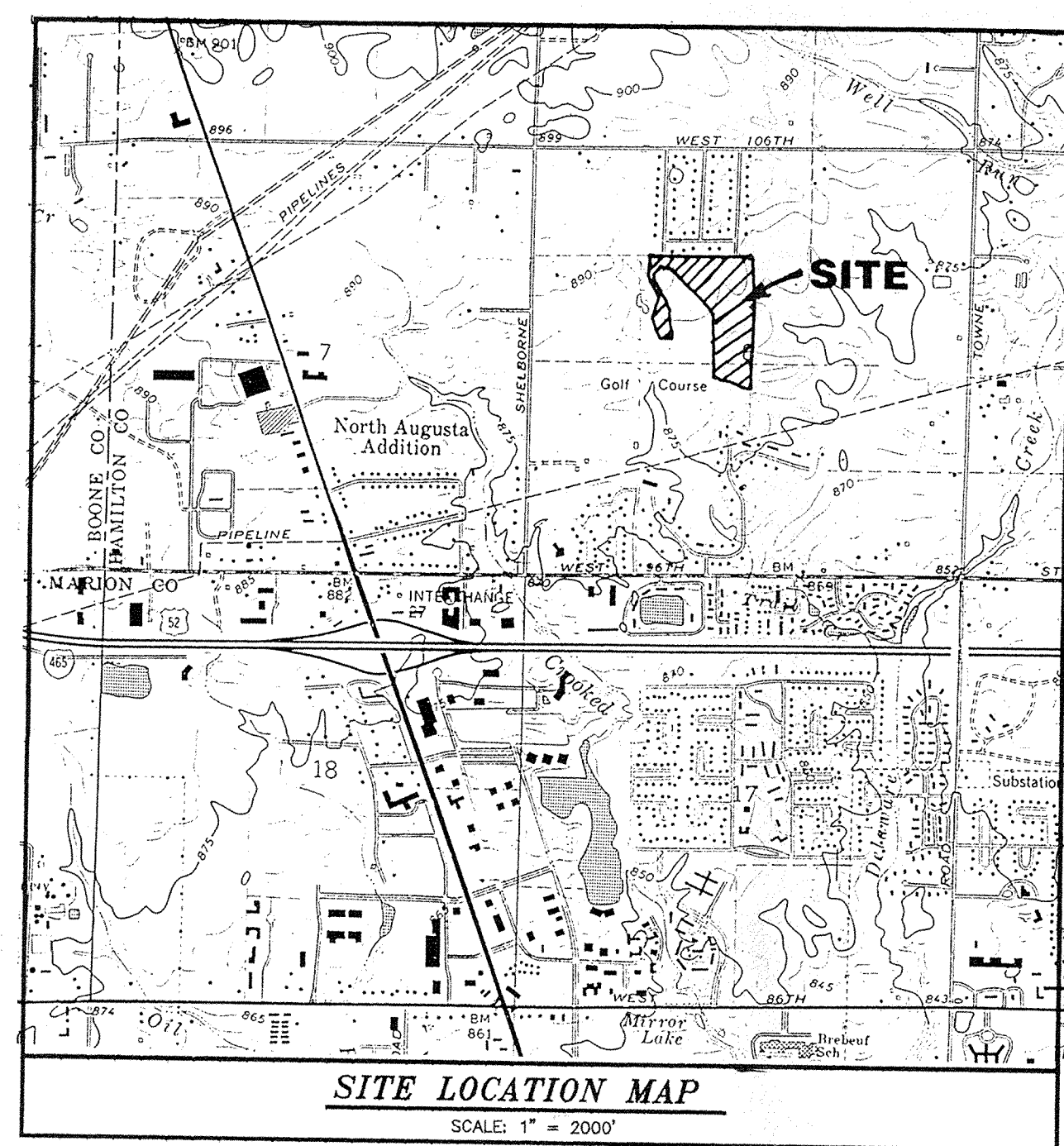
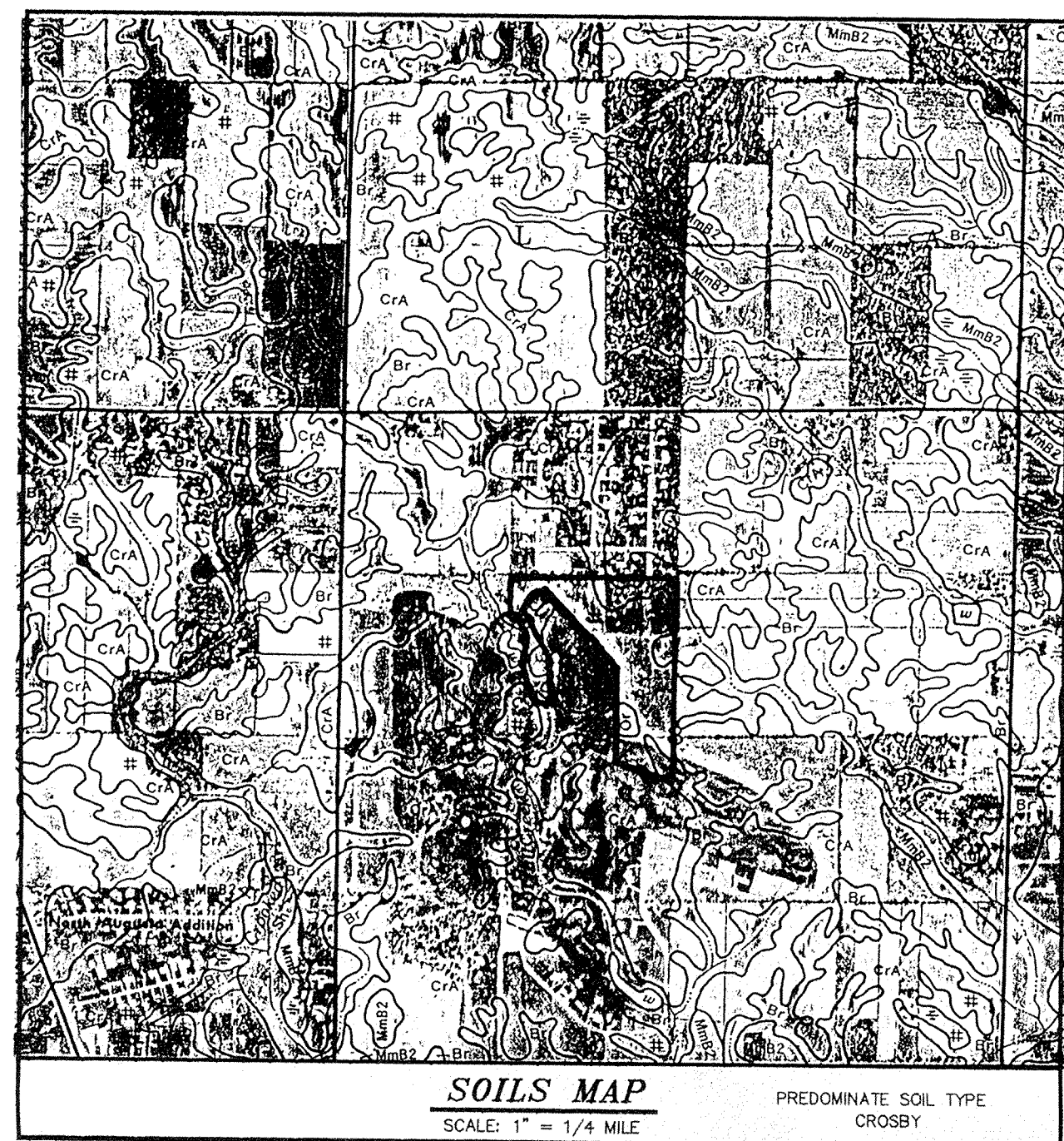
Sincerely,

A handwritten signature in black ink, appearing to read 'Kenton C. Ward', is written over a horizontal line.

Kenton C. Ward,  
Hamilton County Surveyor

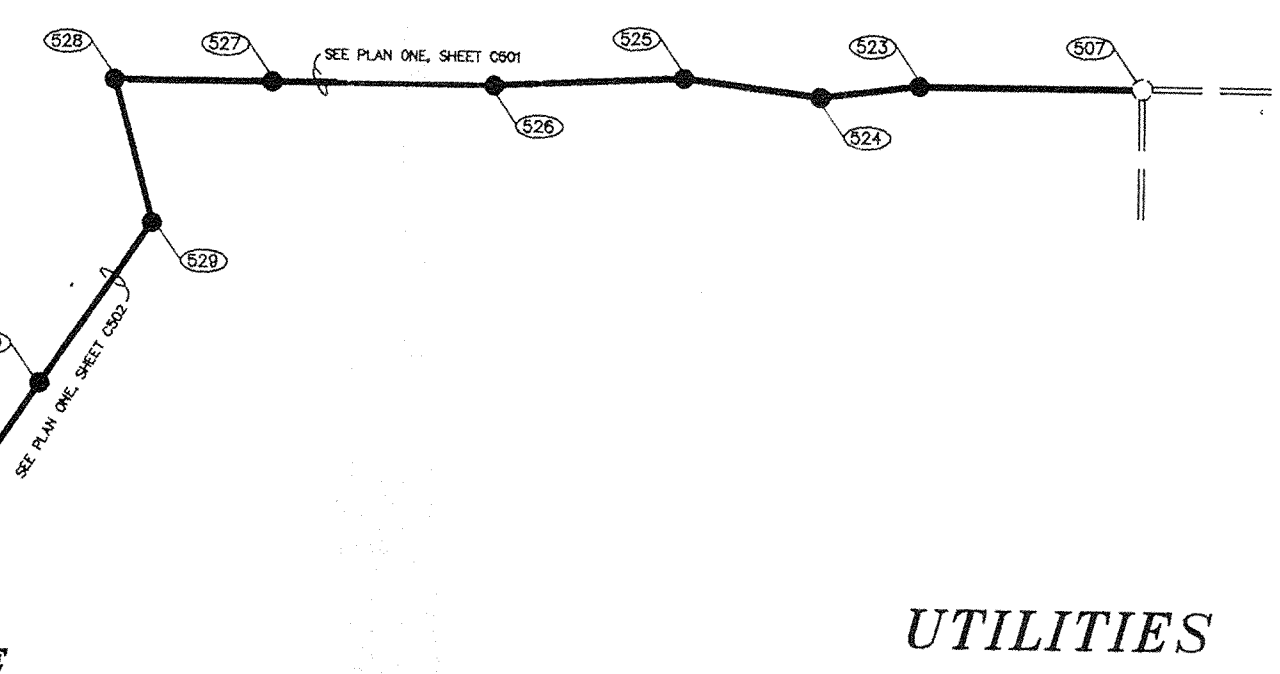
KCW/slm

# CONSTRUCTION PLANS FOR SHELBORNE GREENE SECTION TWO



### SITE WORK GENERAL NOTES AND SPECIFICATIONS

- NOTICES AND PERMITS**
- The Contractor shall coordinate and confirm with Owner that all permits and approvals are obtained from the respective private, City, County and State agencies prior to starting construction.
  - The Contractor shall contact INDIANA UNDERGROUND PLANT PROTECTION SERVICE, INC., 1-800-382-5544, and all other utility companies to locate all mains, conduits, service lines, ect. in the construction affected area. Existing utility structures are shown here in accordance with available information at the time of design. The location and protection of utility structures and facilities, their support and maintenance during construction (in cooperation with applicable utility), is the express responsibility of the Contractor in the performance of the Contract and in the preparation of the bid. The Contractor shall notify the Engineer of any changes, errors or omissions found on these plans or in the field before work is started or resumed.
  - It shall be the Contractor's responsibility for notification and coordination of all construction with respective utility companies.
  - It shall be the responsibility of the Contractor to maintain quality control throughout the project; failure to do so may result in removal and replacement of the defective work. It is recommended that the Contractor have a qualified supervisor on the job site at all times during construction.
  - It is essential that the work to be done in conjunction with this project be installed according to these specifications. The Engineer will be required to certify to certain portions of this project upon completion. Therefore, it is necessary to obtain approval and acceptance by the appropriate governmental agencies that construction was done in compliance with these plans and specifications. Any damaged or defective work will be the Contractor's responsibility to correct or replace. All changes or discrepancies in plans to be reviewed with Engineer prior to implementing changes field.



- GAS:**  
INDIANA GAS COMPANY  
15900 ALLISONVILLE ROAD  
NOBLESVILLE, INDIANA 46060  
(317)773-0430
- ELECTRIC:**  
INDIANAPOLIS POWER & LIGHT  
25 MONUMENT CIRCLE  
INDIANAPOLIS, INDIANA 46206  
(317)261-8261
- WATER:**  
INDIANAPOLIS WATER COMPANY  
1220 WATERWAY BOULEVARD  
INDIANAPOLIS, INDIANA 46202  
(317)639-1501 EXT.222
- SANITARY SEWER:**  
CLAY TOWNSHIP REGIONAL WASTE DISTRICT  
10755 NORTH COLLEGE AVENUE  
CARMEL, INDIANA 46032  
(317) 844-9200
- STORM SEWER:**  
HAMILTON CO. SURVEY / DRAINAGE BOARD  
ONE HAMILTON COUNTY SQUARE  
NOBLESVILLE, INDIANA 46060  
(317) 776-9626
- TELEPHONE:**  
AMERITECH  
5858 N. COLLEGE AVE.  
INDIANAPOLIS, INDIANA 46220  
1-800-544-9195
- CABLE TELEVISION:**  
JONES INTERCABLE, INC.  
516 EAST CARMEL DRIVE  
CARMEL, INDIANA 46032  
(317)844-8877
- STREETS:**  
HAMILTON COUNTY HIGHWAY  
1717 EAST PLEASANT  
NOBLESVILLE, INDIANA 46060  
(317) 773-7770

### INDEX

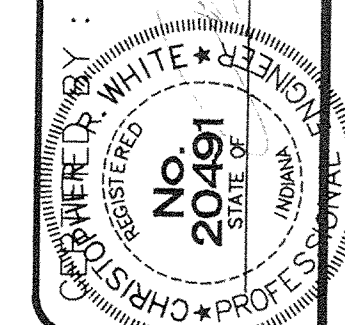
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C201	SITE DEVELOPMENT PLAN - NORTH 1/2
C202	SITE DEVELOPMENT PLAN - SOUTH 1/2
C203	EROSION CONTROL PLAN - NORTH 1/2
C204	EROSION CONTROL PLAN - SOUTH 1/2
C205	EROSION CONTROL DETAILS & SPECIFICATIONS
C301	STREET PLAN & PROFILE
C302	STREET PLAN & PROFILE
C303	STREET PLAN & PROFILE
C401	STREET DETAILS
C402	CUL-DE-LOOP DETAILS
C501	OFF-SITE SANITARY SEWER PLAN & PROFILE
C502	OFF-SITE SANITARY SEWER PLAN & PROFILE
C503	SANITARY SEWER PLAN & PROFILE
C504	SANITARY SEWER PLAN & PROFILE
C505	SANITARY SEWER PLAN & PROFILE
C701	STORM SEWER PLAN & PROFILE
C702	STORM SEWER PLAN & PROFILE
C703	STORM SEWER PLAN & PROFILE
C704	STORM SEWER PLAN & PROFILE
C801	STANDARD DETAILS
C802	STANDARD DETAILS
C901	STANDARD SPECIFICATIONS
C902	STANDARD SPECIFICATIONS

### BENCHMARK

U.S.C. & G.S. BM T-78 - BRONZE DISK SET IN CONCRETE POST 48" NE OF CENTERLINE OF U.S. 421 AND 24' N OF CENTERLINE W. 96TH ST. (RESET 1965)  
ELEVATION = 880.926 (NGVD 1929)

### OWNER/DEVELOPER

DAVIS DEVELOPMENT, L.P.  
3755 EAST 82nd STREET, SUITE 120  
INDIANAPOLIS, INDIANA 46240  
(317) 595-2900



NO.	REV.	DATE	BY	REVISIONS
1	04/21/99			ISSUED FOR CONSTRUCTION
2	04/21/99			ISSUED FOR CONSTRUCTION

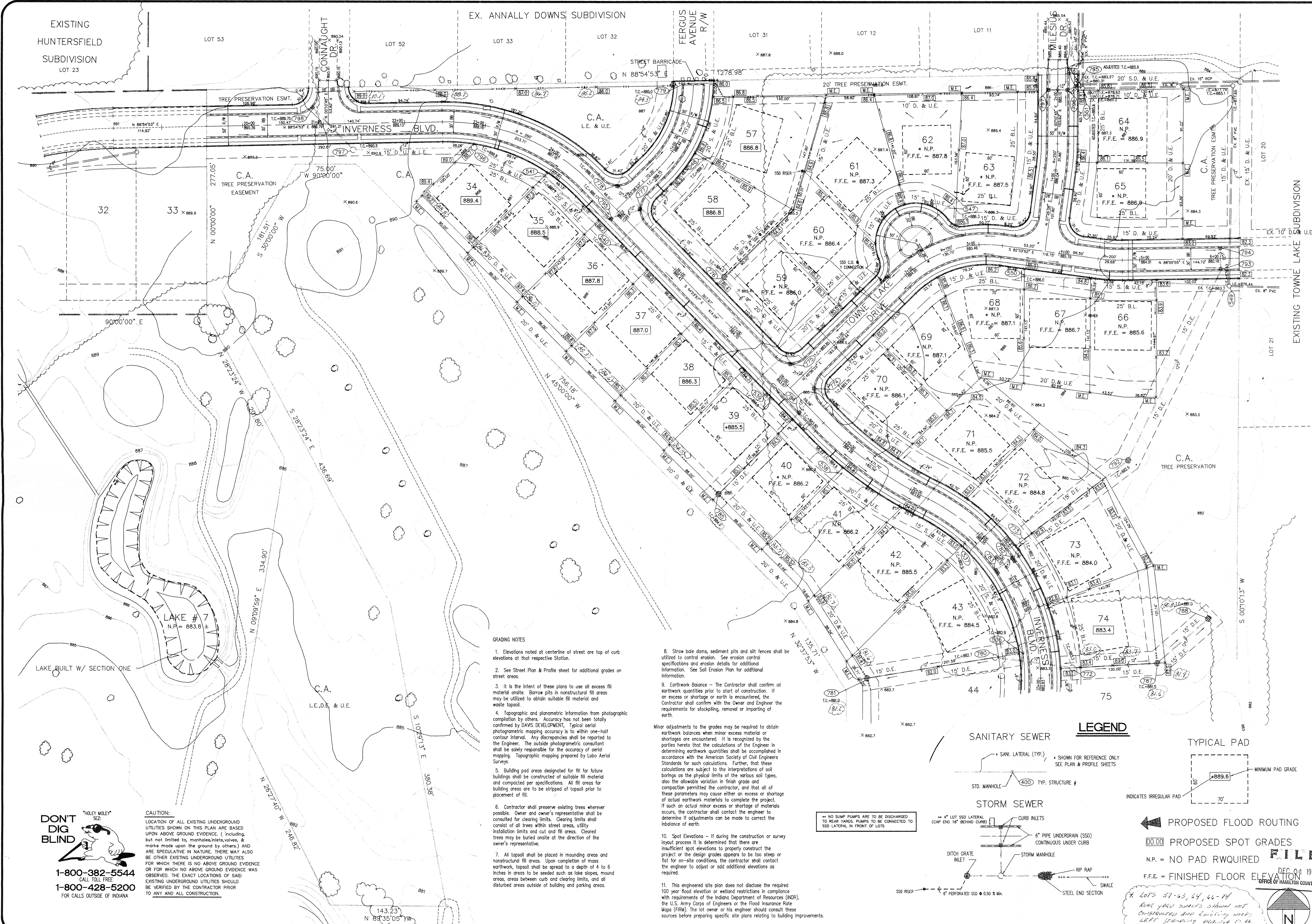
**DAVIS DEVELOPMENT, L.P.**  
3755 EAST 82nd ST. SUITE 120  
INDIANAPOLIS, INDIANA 46240  
OFFICE 317-595-2900  
FAX 317-595-2930

PROJECT: SHELBORNE GREENE SECTION TWO  
TITLE: COVER SHEET  
DRAWN BY: [Signature]  
DATE: 11/21/94  
SCALE: NOTED

**FILED**

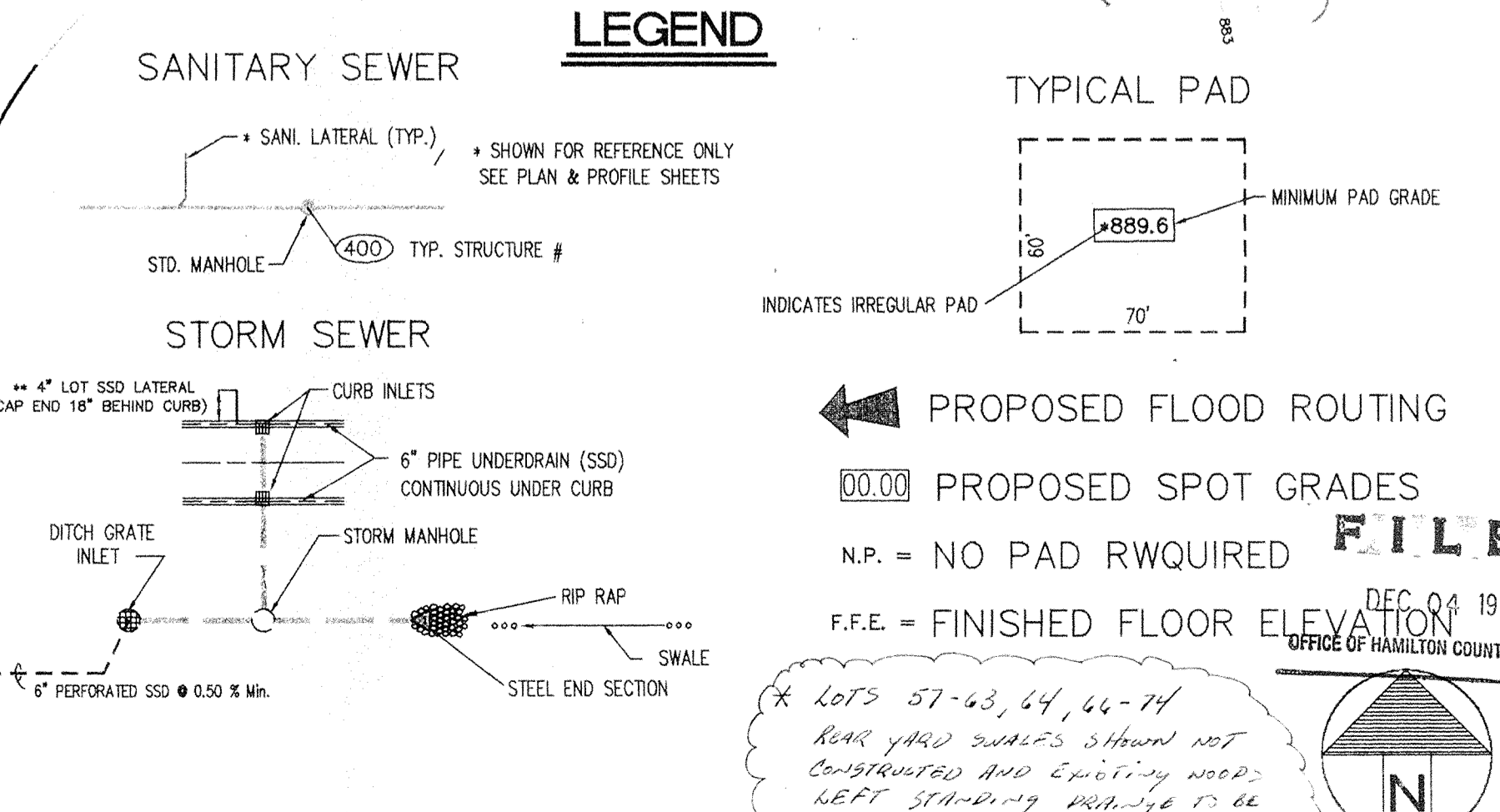
DEC 04 1997  
OFFICE OF HAMILTON COUNTY SURVEYOR

SHEET: CS



**GRADING NOTES**

- Elevations noted at centerline of street are top of curb elevations at that respective station.
- See Street Plan & Profile sheet for additional grades on street areas.
- It is the intent of these plans to use all excess fill material onsite. Borrow pits in nonstructural fill areas may be utilized to obtain suitable fill material and waste topsoil.
- Topographic and planimetric information from photogrammetric mapping accuracy is to within one-half contour interval. Any discrepancies shall be reported to the Engineer. The outside photogrammetric consultant shall be solely responsible for the accuracy of aerial mapping. Topographic mapping prepared by Lobo Aerial Surveys.
- Building pad areas designated for fill for future buildings shall be constructed of suitable fill material and compacted per specifications. All fill areas for building areas are to be stripped of topsoil prior to placement of fill.
- Contractor shall preserve existing trees wherever possible. Owner and owner's representative shall be consulted for clearing limits. Clearing limits shall consist of all trees within street areas, utility installation limits and cut and fill areas. Cleared trees may be buried onsite at the direction of the owner's representative.
- All topsoil shall be placed in mounding areas and nonstructural fill areas. Upon completion of mass earthwork, topsoil shall be spread to a depth of 4 to 6 inches in areas to be seeded such as lake slopes, mound areas, areas between curb and clearing limits, and all disturbed areas outside of building and parking areas.
- Straw bale dams, sediment pits and silt fences shall be utilized to control erosion. See erosion control specifications and erosion details for additional information. See Soil Erosion Plan for additional information.
- Earthwork Balance - The Contractor shall confirm all earthwork quantities prior to start of construction. If an excess or shortage of earth is encountered, the Contractor shall confirm with the Owner and Engineer the requirements for stockpiling, removal or importing of earth.
- Minor adjustments to the grades may be required to obtain earthwork balances when minor excess material or shortages are encountered. It is recognized by the parties hereto that the calculations of the Engineer in determining earthwork quantities shall be accomplished in accordance with the American Society of Civil Engineers Standards for such calculations. Further, that these calculations are subject to the interpretations of soil borings as the physical limits of the various soil types, also the allowable variation in finish grade and compaction permitted the contractor, and that all of these parameters may cause either an excess or shortage of actual earthwork materials to complete the project. If such an actual minor excess or shortage of materials occurs, the contractor shall contact the engineer to determine if adjustments can be made to correct the imbalance of earth.
- Spot Elevations - If during the construction or survey layout process it is determined that there are insufficient spot elevations to properly construct the project or the design grades appears to be too steep or flat for on-site conditions, the contractor shall contact the engineer to adjust or add additional elevations as required.
- This engineered site plan does not disclose the required 100 year flood elevation or wetland restrictions in compliance with requirements of the Indiana Department of Resources (IDR), the U.S. Army Corps of Engineers or the Flood Insurance Rate Maps (FIRM). The lot owner or his engineer should consult these sources before preparing specific site plans relating to building improvements.



**DON'T DIG BLIND**

*"HOLEY MOLEY" SIZE*

CAUTION: LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE. (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others.) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

1-800-382-5544  
CALL TOLL FREE  
1-800-428-5200  
FOR CALLS OUTSIDE OF INDIANA

**DAVIS HOMES, L.L.C.**  
3765 EAST 82nd ST., SUITE 120  
INDIANAPOLIS, INDIANA 46240  
OFFICE 317-595-2900  
FAX 317-595-2930

**SHELBORNE GREENE SECTION TWO**  
PROJECT TITLE: SITE DEVELOPMENT PLAN - N 1/2  
DATE: 11/21/94  
SCALE: 1" = 50'

NO. BY: REV. DATE: REVISIONS

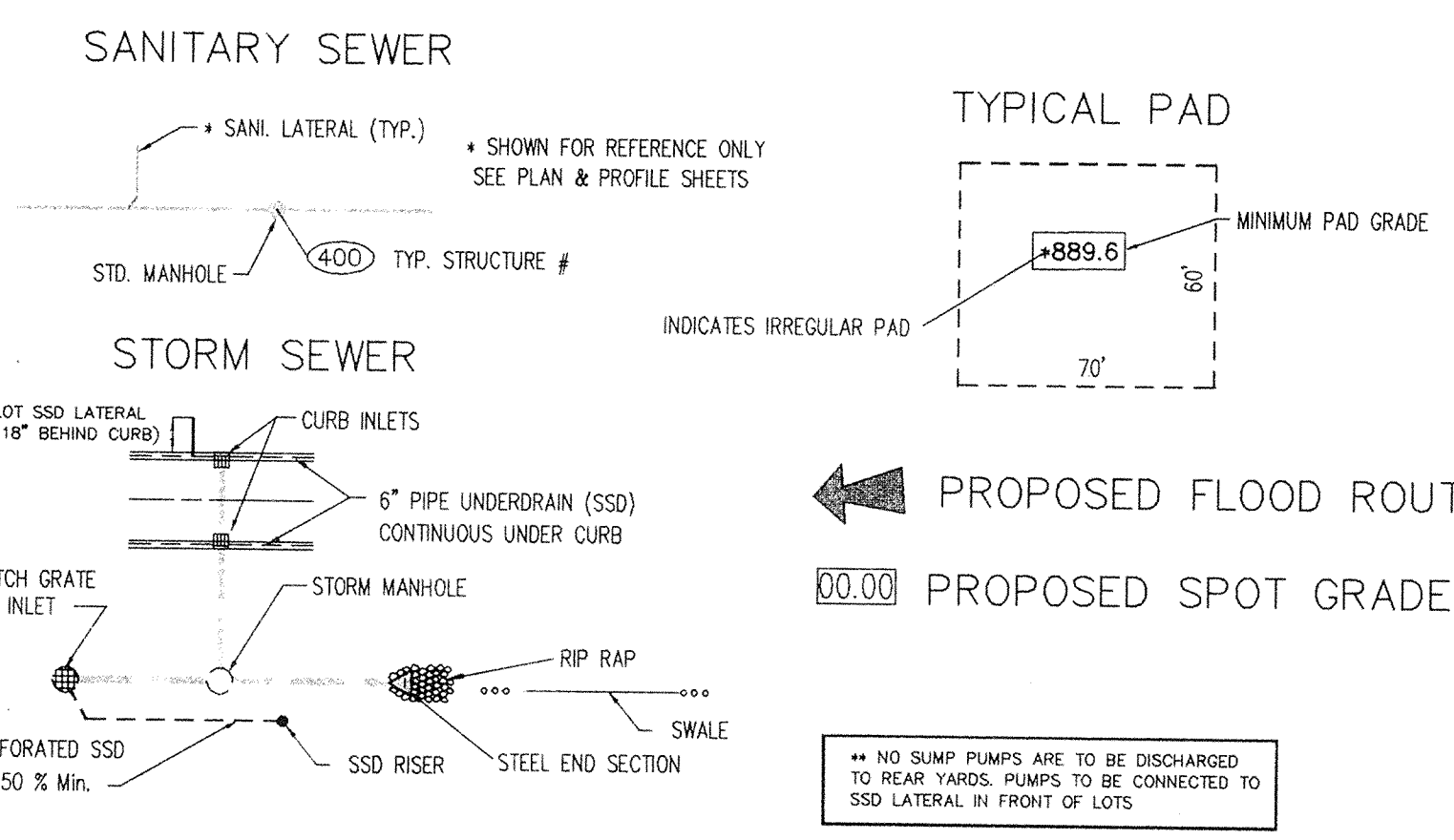
NO. 20494  
DATE 11/21/94  
BY R. WHITE

FILED  
DEC 04 1994  
OFFICE OF HAMILTON COUNTY SURVEYOR

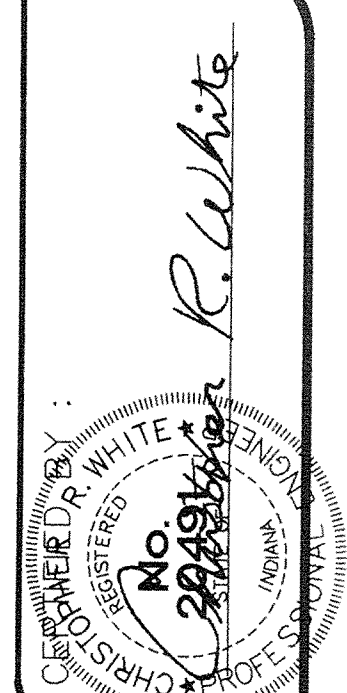
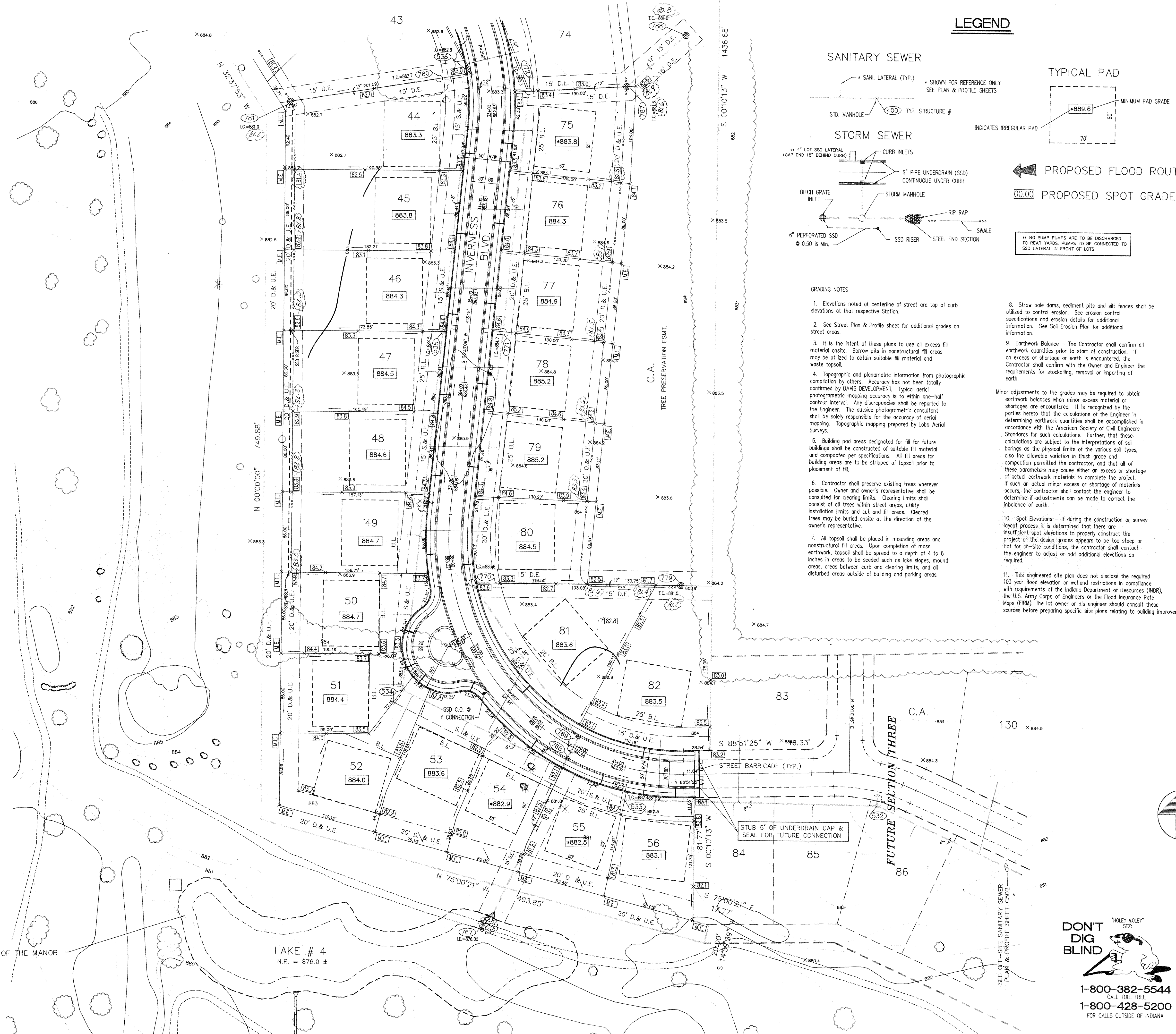
SHEET: C201

\*LOTS 57-63, 64, 66-74  
Rear yard setbacks shown NOT  
CONSTRUCTED AND EXISTING WOOD  
LEFT STANDING PARALLEL TO BE  
ADDRESSED AT POST PLAN SUBMITTALS

**LEGEND**



- GRADING NOTES**
- Elevations noted at centerline of street are top of curb elevations at that respective Station.
  - See Street Plan & Profile sheet for additional grades on street areas.
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  - Building pad areas designated for fill for future buildings shall be constructed of suitable fill material and compacted per specifications. All fill areas for building areas are to be stripped of topsoil prior to placement of fill.
  - Contractor shall preserve existing trees wherever possible. Owner and owner's representative shall be consulted for clearing limits. Clearing limits shall consist of all trees within street areas, utility installation limits and cut and fill areas. Cleared trees may be buried onsite at the direction of the owner's representative.
  - All topsoil shall be placed in mounding areas and nonstructural fill areas. Upon completion of mass earthwork, topsoil shall be spread to a depth of 4 to 6 inches in areas to be seeded such as law slopes, mound areas, areas between curb and clearing limits, and all disturbed areas outside of building and parking areas.
  - Straw bale dams, sediment pits and silt fences shall be utilized to control erosion. See erosion control specifications and erosion details for additional information. See Soil Erosion Plan for additional information.
  - Earthwork Balance - The Contractor shall confirm all earthwork quantities prior to start of construction. If an excess or shortage of earth is encountered, the Contractor shall confirm with the Owner and Engineer the requirements for stockpiling, removal or importing of earth.
  - Minor adjustments to the grades may be required to obtain earthwork balances when minor excess material or shortages are encountered. It is recognized by the parties hereto that the calculations of the Engineer in determining earthwork quantities shall be accomplished in accordance with the American Society of Civil Engineers Standards for such calculations. Further, that these calculations are subject to the interpretations of soil borings as the physical limits of the various soil types, also the allowable variation in finish grade and compaction permitted the contractor, and that all of these parameters may cause either an excess or shortage of actual earthwork materials to complete the project. If such an actual minor excess or shortage of materials occurs, the contractor shall contact the engineer to determine if adjustments can be made to correct the imbalance of earth.
  - Spot Elevations - If during the construction or survey layout process it is determined that there are insufficient spot elevations to properly construct the project or the design grades appears to be too steep or flat for on-site conditions, the contractor shall contact the engineer to adjust or add additional elevations as required.
  - This engineered site plan does not disclose the required 100 year flood elevation or wetland restrictions in compliance with requirements of the Indiana Department of Resources (IDNR), the U.S. Army Corps of Engineers or the Flood Insurance Rate Maps (FIRM). The lot owner or his engineer should consult these sources before preparing specific site plans relating to building improvements.



NO.	BY :	REV. DATE :	REVISIONS
1	01/07/94	07/09/94	REVISED PAD SIZE TO 70' x 60'
2	11/21/94	11/21/94	ADDED CLEAR-OUT FOR STREET SSD PER LOCAL ORD. COMMENTS
3			ADDED REAR-YARD STAKE MARKS

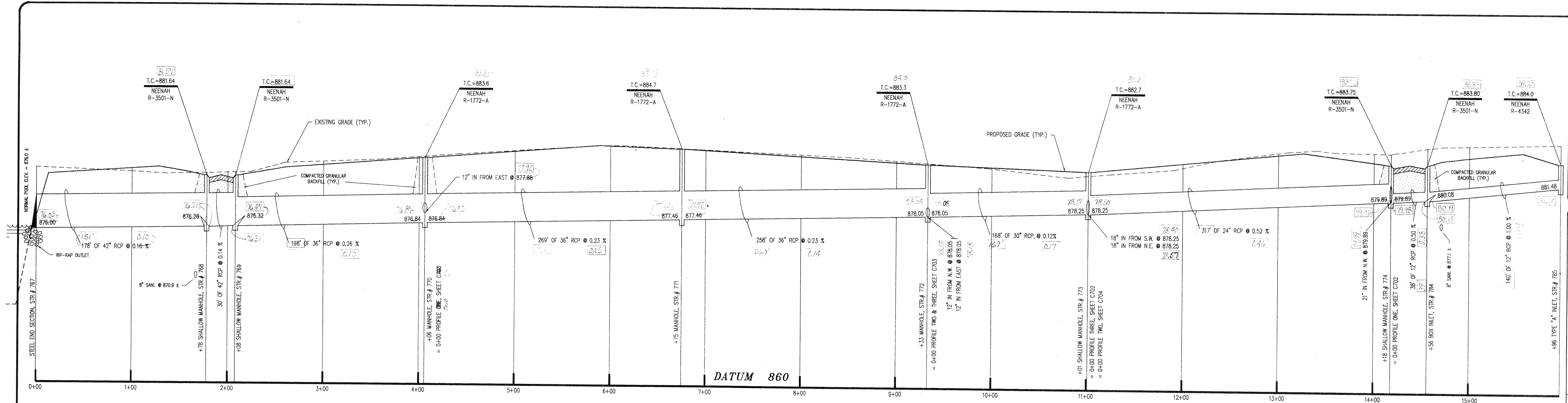
**DAVIS DEVELOPMENT, L.P.**  
 3755 EAST 82nd ST. SUITE 120  
 INDIANAPOLIS, INDIANA 46240  
 OFFICE 317-595-2900  
 FAX 317-595-2930

PROJECT : SHELBORNE GREENE SECTION TWO  
 TITLE : SITE DEVELOPMENT PLAN - S 1/2  
 DRAWN BY : RJS  
 DATE : 11/21/94  
 SCALE : 1" = 50'

FILED  
 DEC 04 1994  
 OFFICE OF HAMILTON COUNTY SURVEYOR  
 SHEET : C202

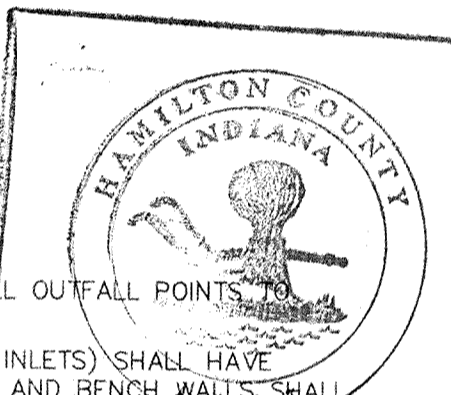
**DON'T DIG BLIND**  
 "HOLEY MOLEY" SEZ  
 1-800-382-5544  
 CALL TOLL FREE  
 1-800-428-5200  
 FOR CALLS OUTSIDE OF INDIANA

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**PROFILE ONE**

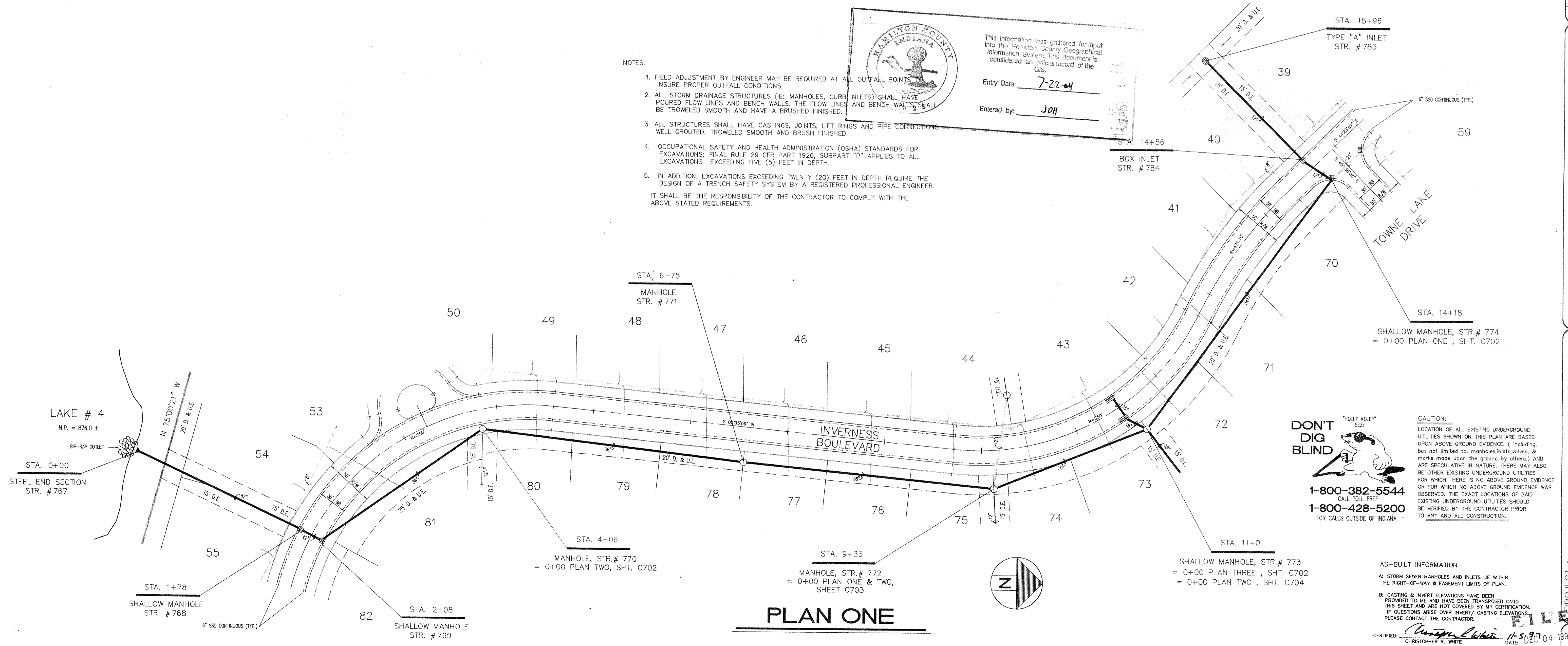
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Entry Date: 7-22-04

Entered by: JOH



**PLAN ONE**

**DON'T DIG BLIND**

"HOLEY MOLEY" SEZ:

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FILED

DATE: 07/23/04

11-5-93 04 189 SHEET: **C701**

PROJECT: **SHELBORNE GREENE SECTION TWO**

TITLE: **STORM SEWER PLAN & PROFILE**

DRAWN BY: RSB

DATE: 11/21/94

SCALE: VERT: 1"=5'  
HORZ: 1"=50'

REVISIONS

No.	REV. DATE	BY	DESCRIPTION
04	04/24/95		LOWERED PIPE DEEP ADDITIONAL PIPE INSTALLED @ STR. # 773, STA. 11+01

REGISTERED PROFESSIONAL ENGINEER

NO. 20481

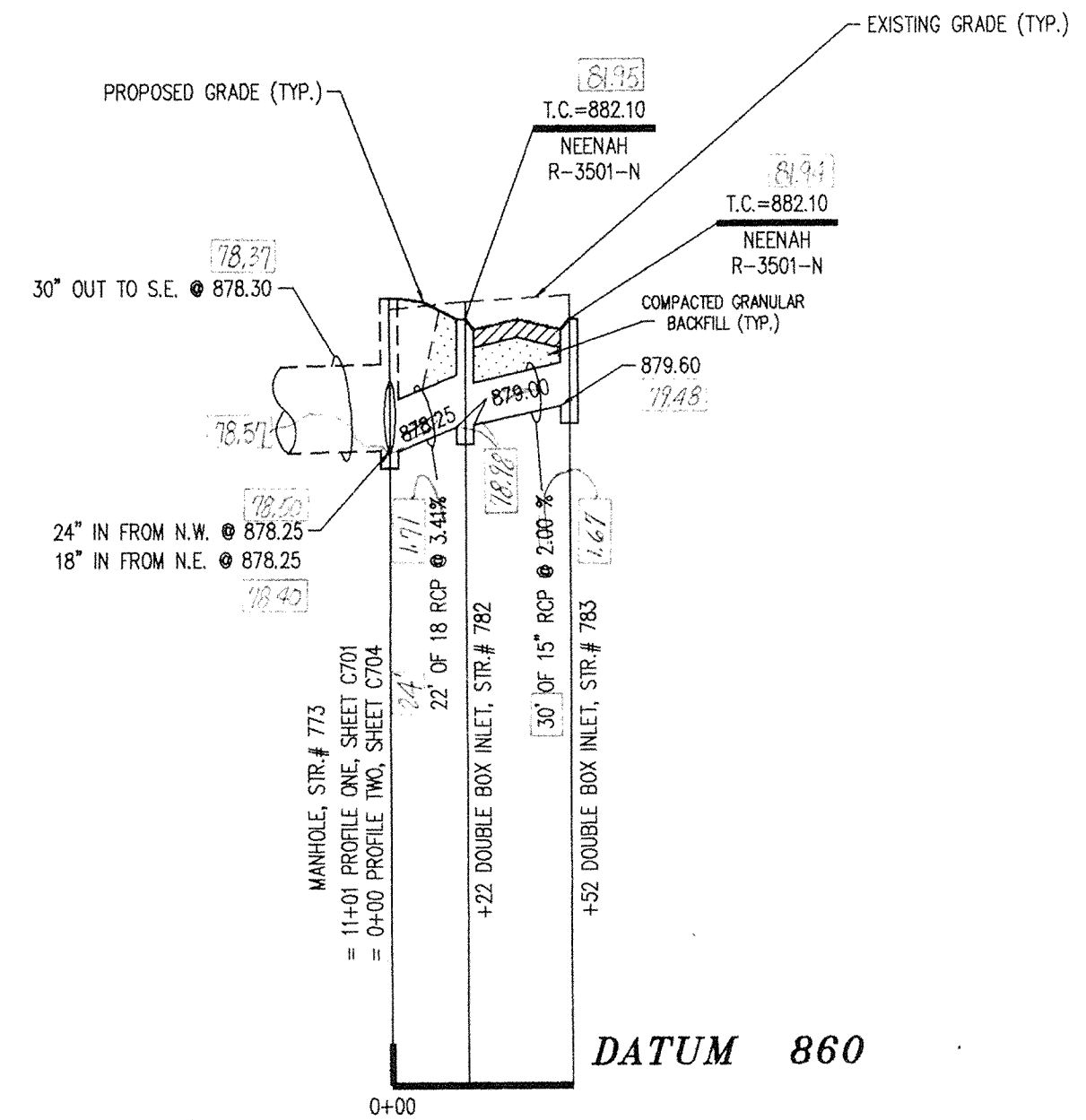
CRISTOPHER R. WHITE

OFFICE OF HAMILTON COUNTY SURVEYOR

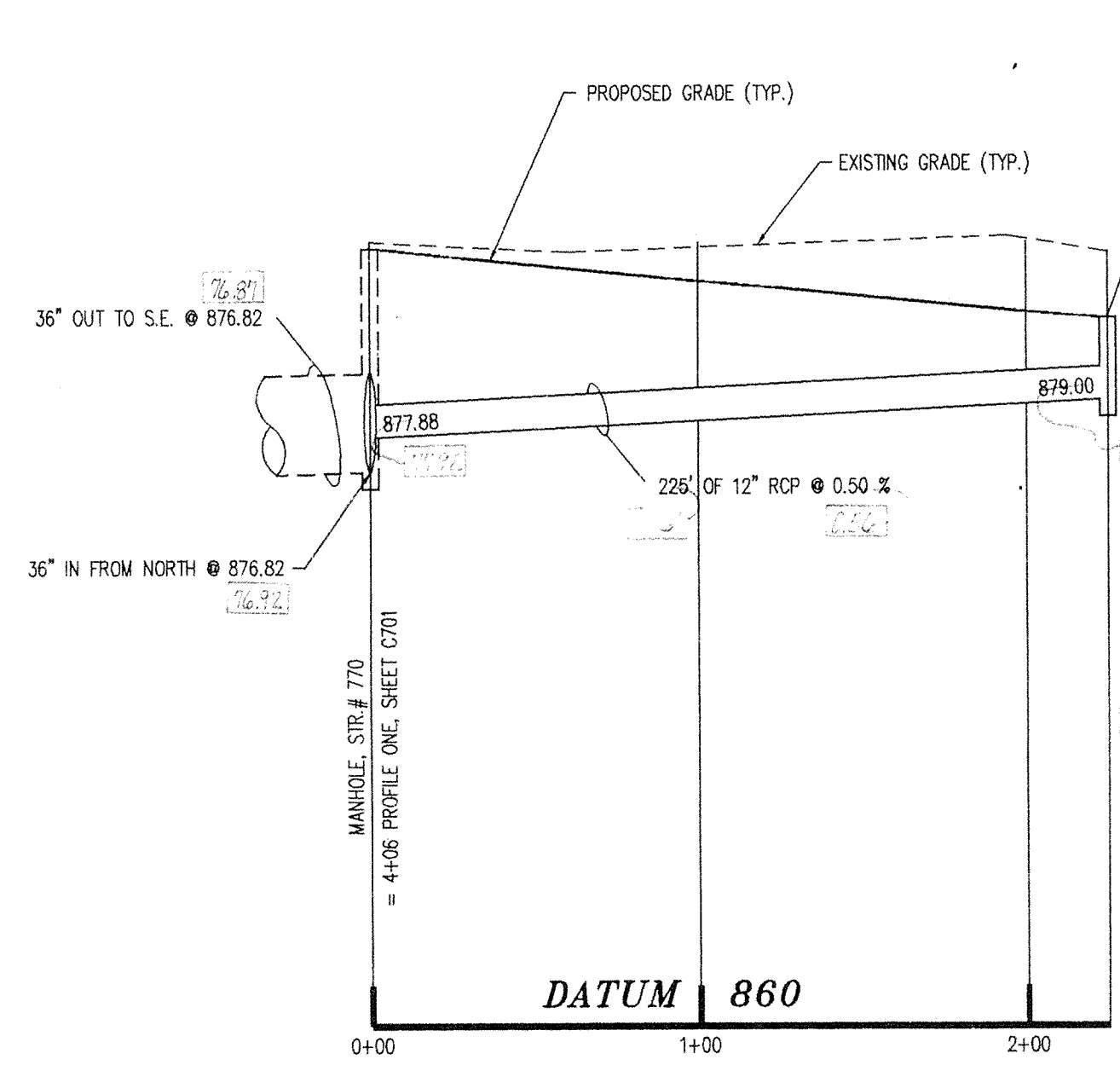
3755 EAST 82nd ST. SUITE 120  
INDIANAPOLIS, INDIANA 46240  
OFFICE 317-595-2900  
FAX 317-595-2930

**DAVIS DEVELOPMENT, L.P.**

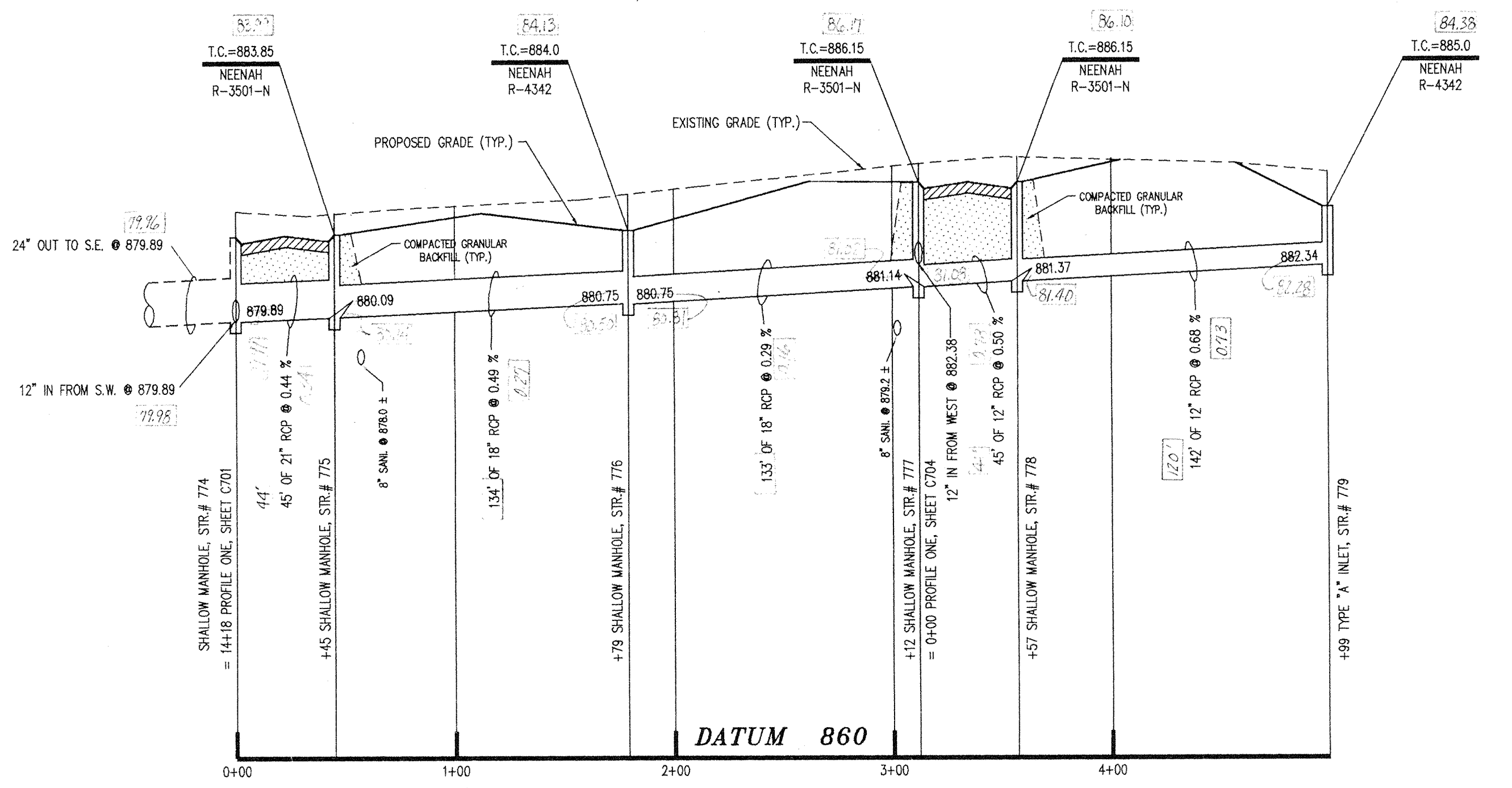
REGISTERED BY: CRISTOPHER R. WHITE



**PROFILE THREE**



**PROFILE TWO**



**PROFILE ONE**

This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 7-22-04

Entered by: JDH

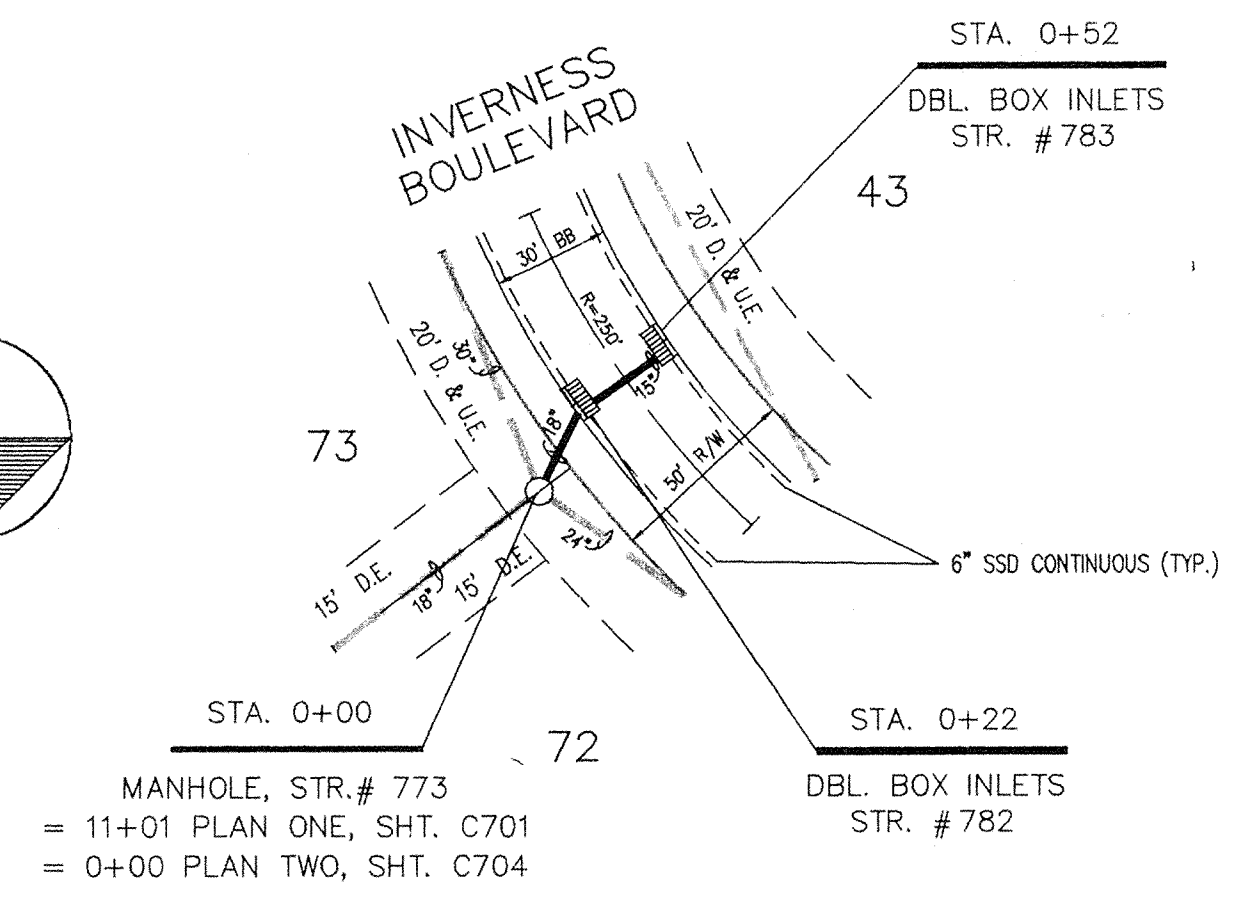
**DON'T DIG BLIND**

"HOLEY MOLEY" SEZ.

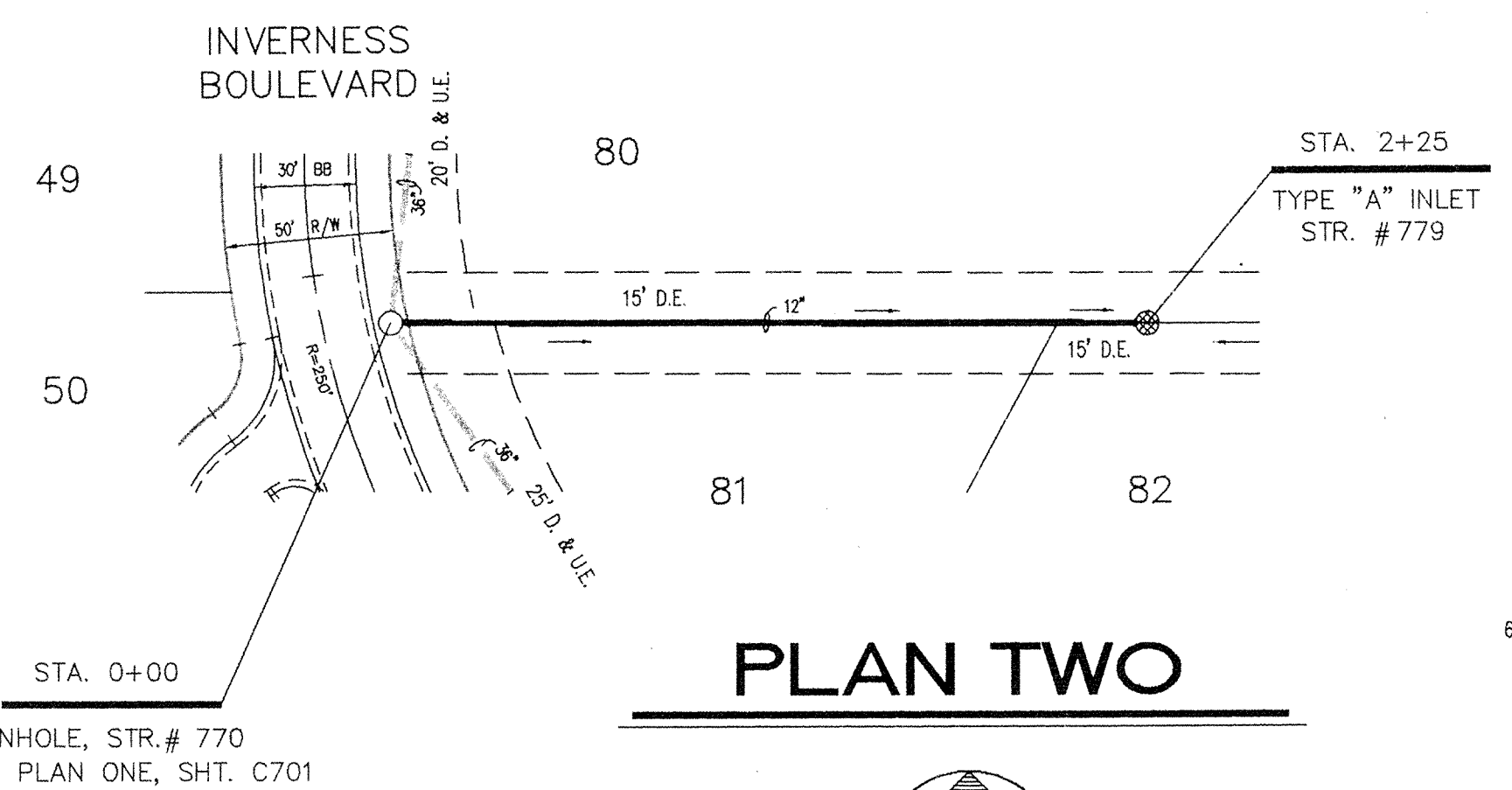
1-800-382-5544  
CALL TOLL FREE  
1-800-428-5200  
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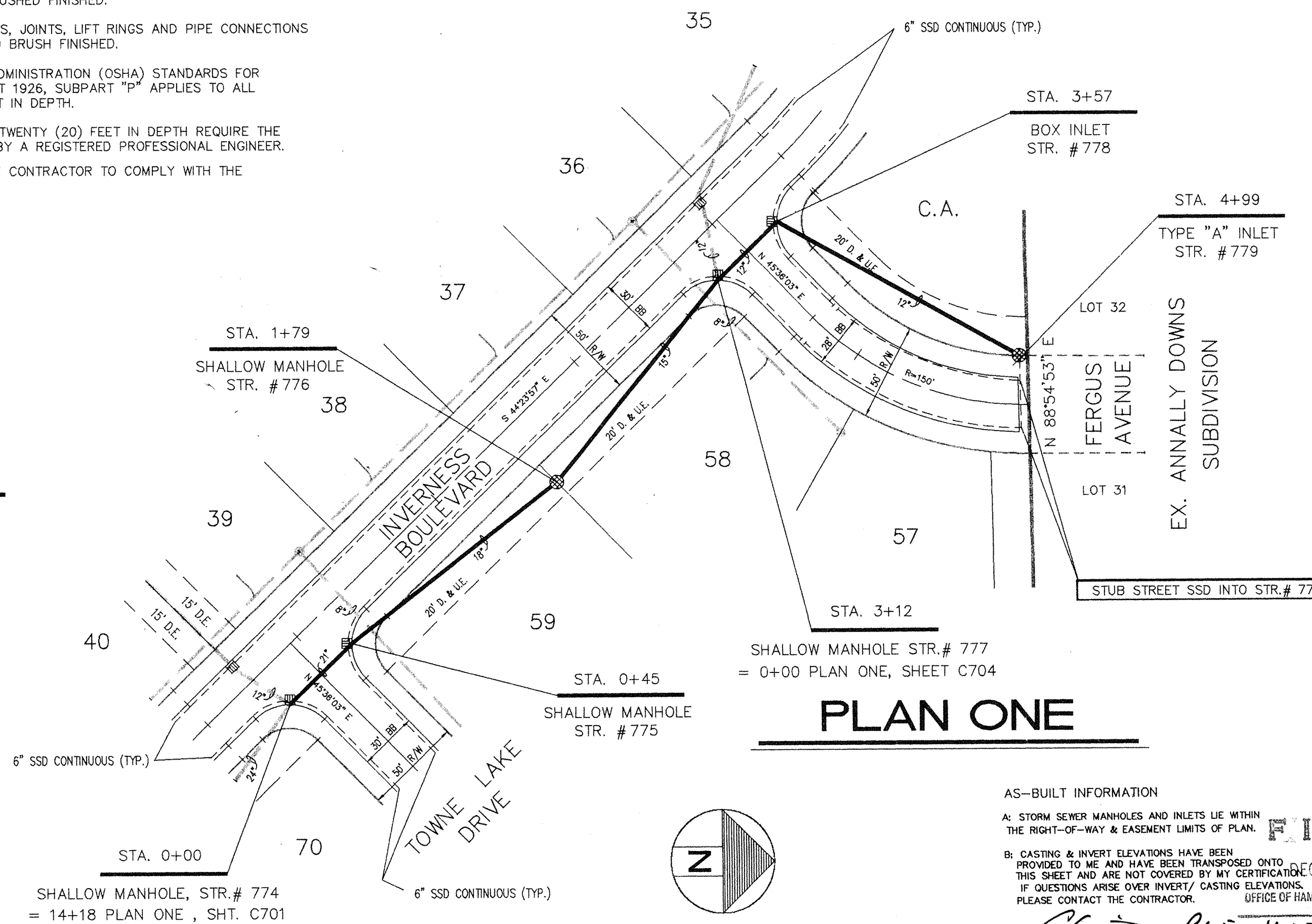
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**PLAN THREE**



**PLAN TWO**



**PLAN ONE**

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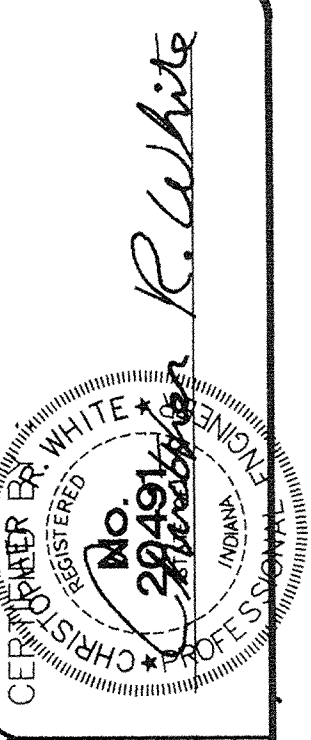
DATE: 11/21/04

SCALE: VERT: 1"=5'  
HORIZ: 1"=50'

PROJECT: **SHELBORNE GREENE SECTION TWO**  
FILE: **STORM SEWER PLAN & PROFILE**

DRAWN BY: PR

CERTIFIED: Christopher R. White 11-5-97  
DATE: 11/21/04



No.	BY:	REV. DATE:	REVISIONS:
		04/24/05	REVISED PLAN & PROFILE ONE, INLET PIPE GRADES AND ADD PIPE TO STR. # 775
		07/15/05	REVISED LAYOUT & CONNECTION @ TOWNE LAKE AVE. AND ANNALLY DOWNS FOR ICHL DWL.

**DAVIS HOMES, L.L.C.**  
OFFICE 317-595-2900  
INDIANAPOLIS, INDIANA 46240  
FAX 317-595-2930

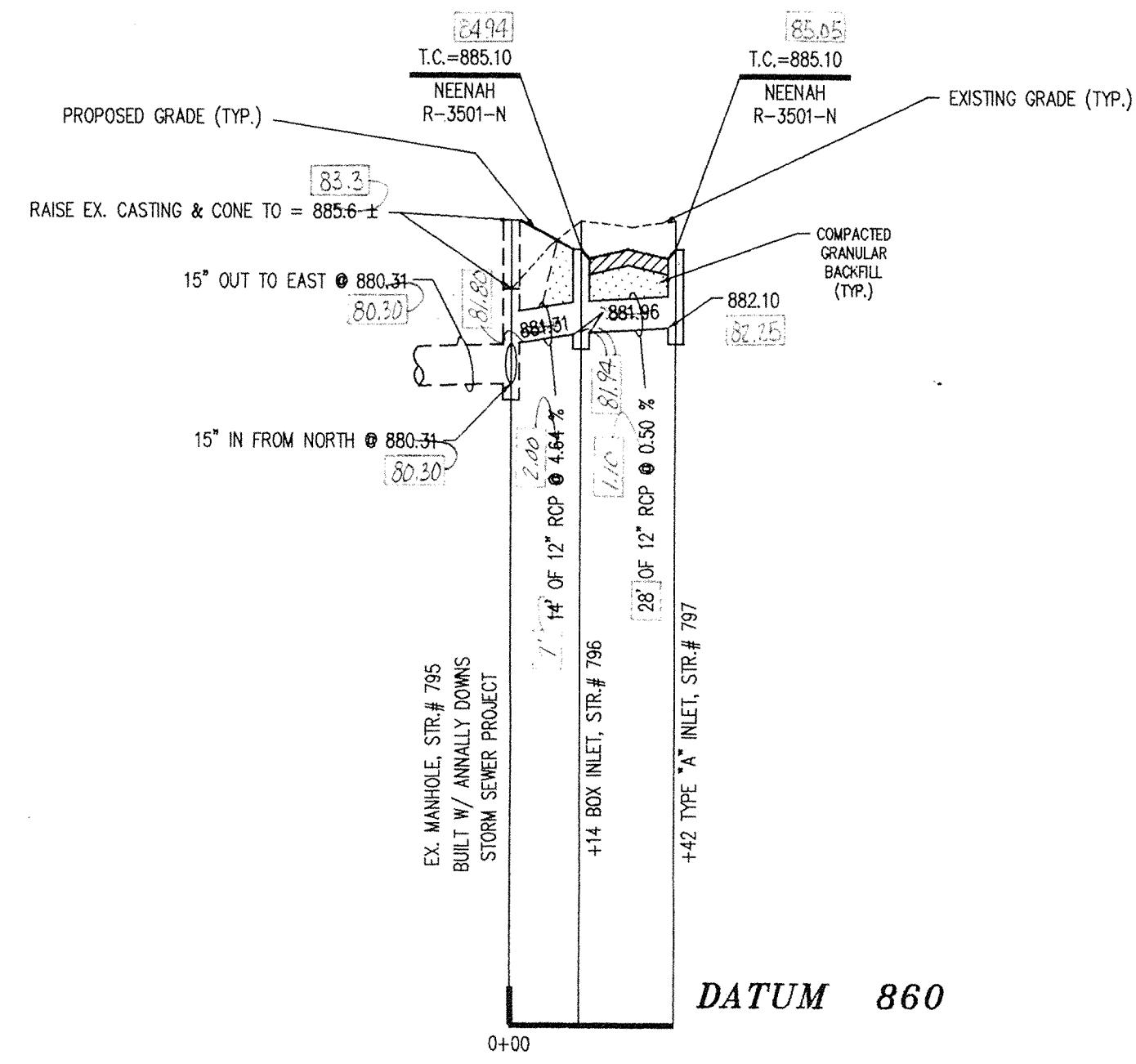
**PROJECT: SHELBORNE GREENE SECTION TWO**  
**FILE: STORM SEWER PLAN & PROFILE**

DRAWN BY: PR

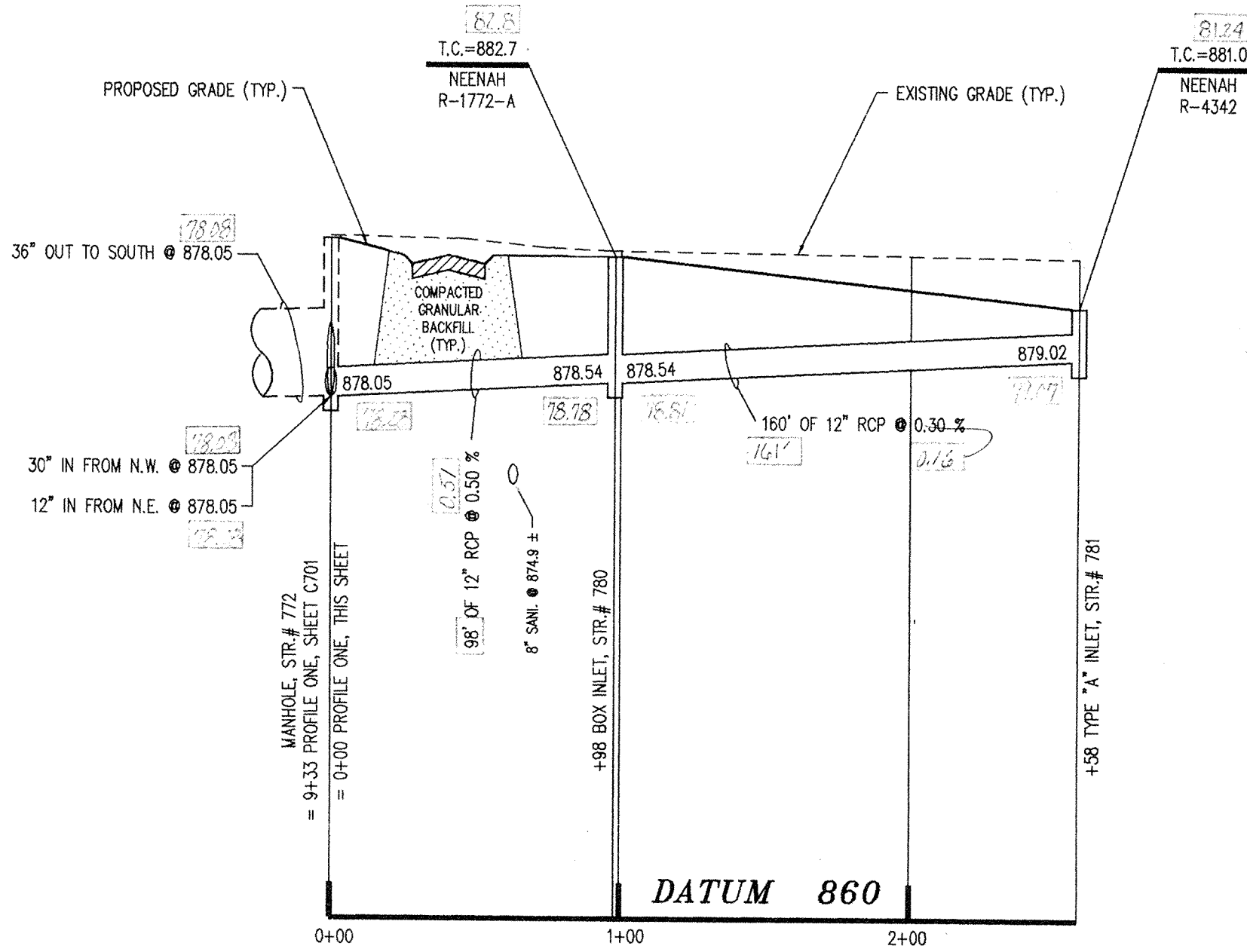
CERTIFIED: Christopher R. White 11-5-97  
DATE: 11/21/04

**C702**

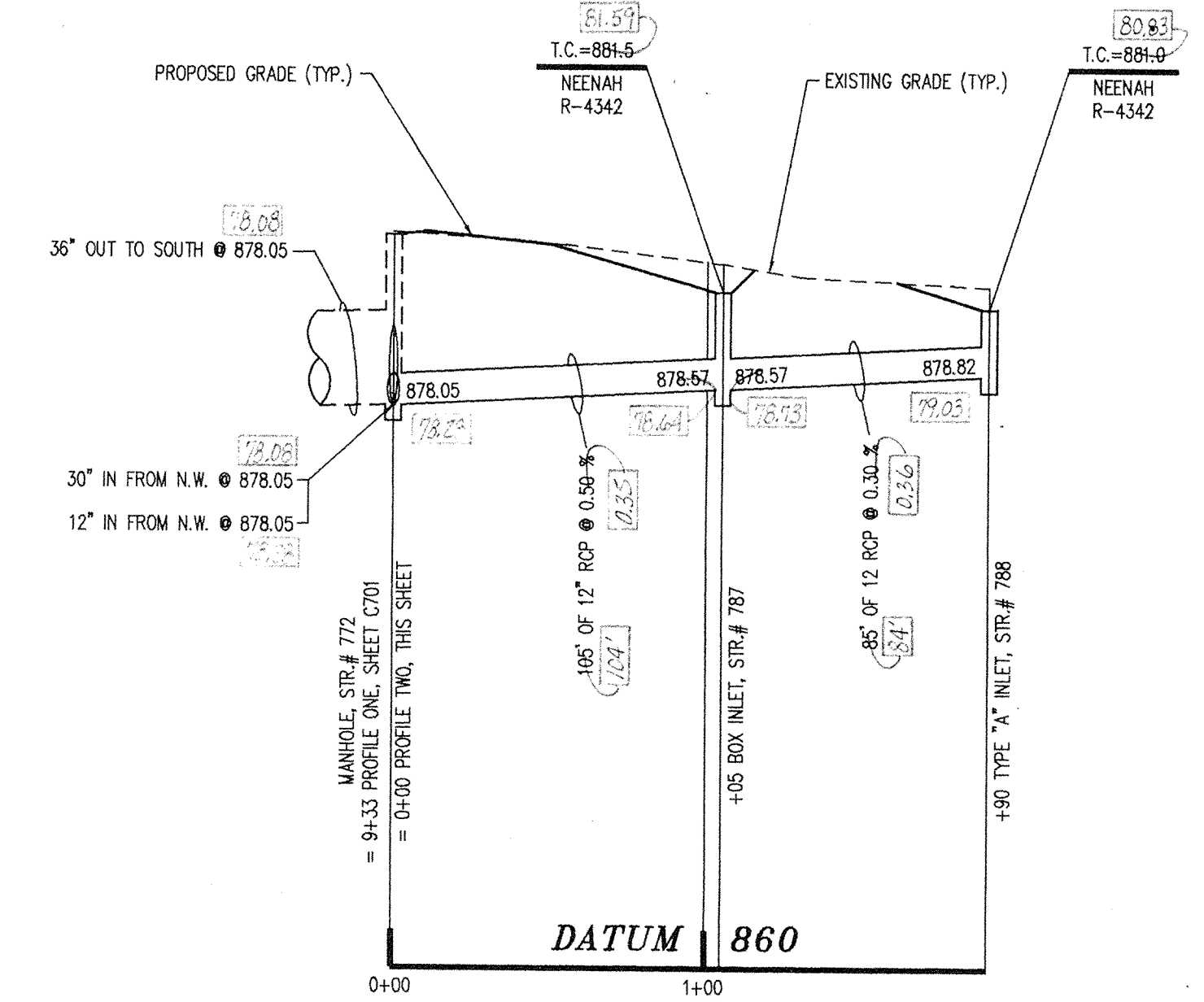




**PROFILE THREE**



**PROFILE TWO**



**PROFILE ONE**

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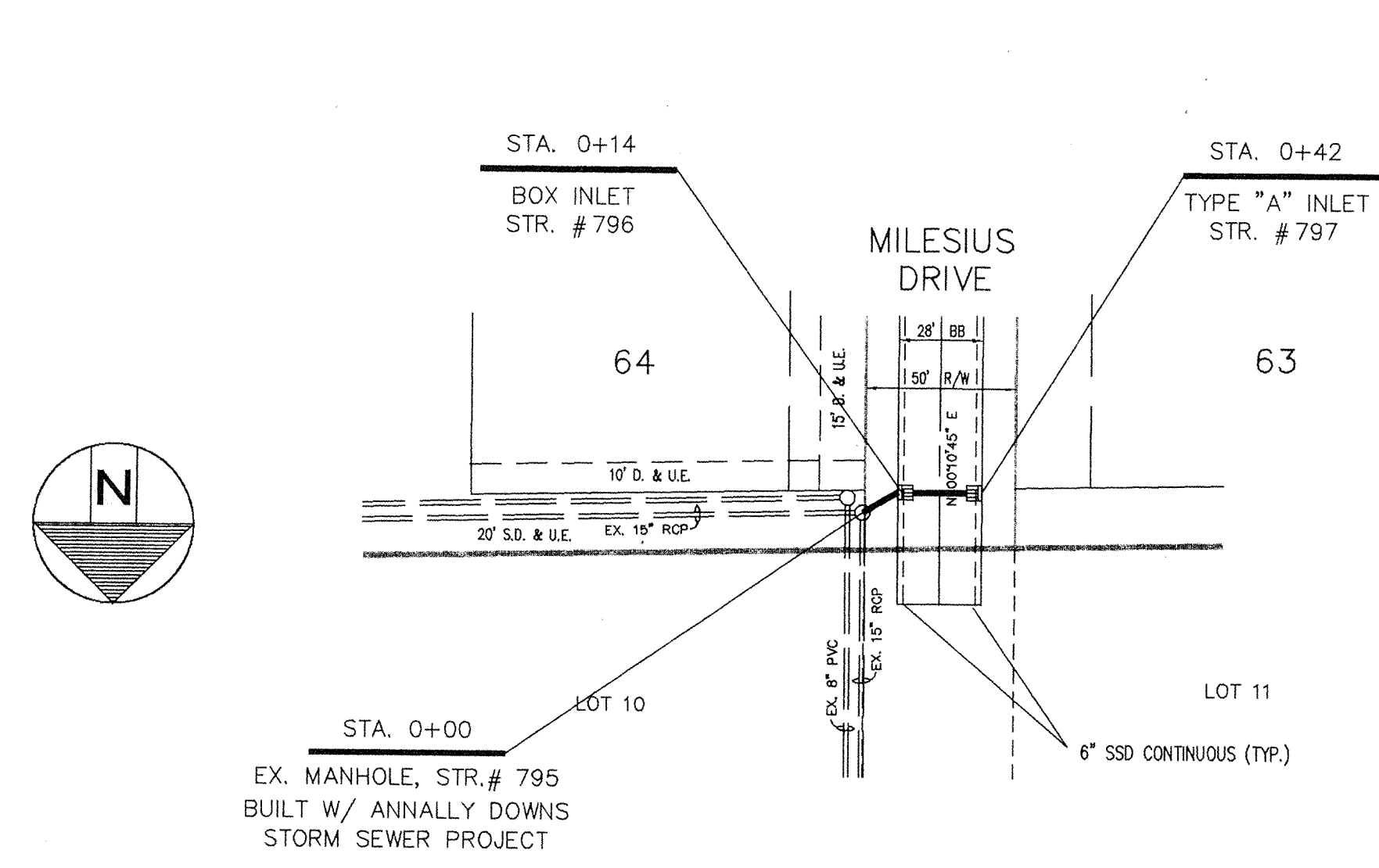
**"HOLEY MOLEY" SEZ:**  
**DON'T DIG BLIND**  
 1-800-382-5544  
 CALL TOLL FREE  
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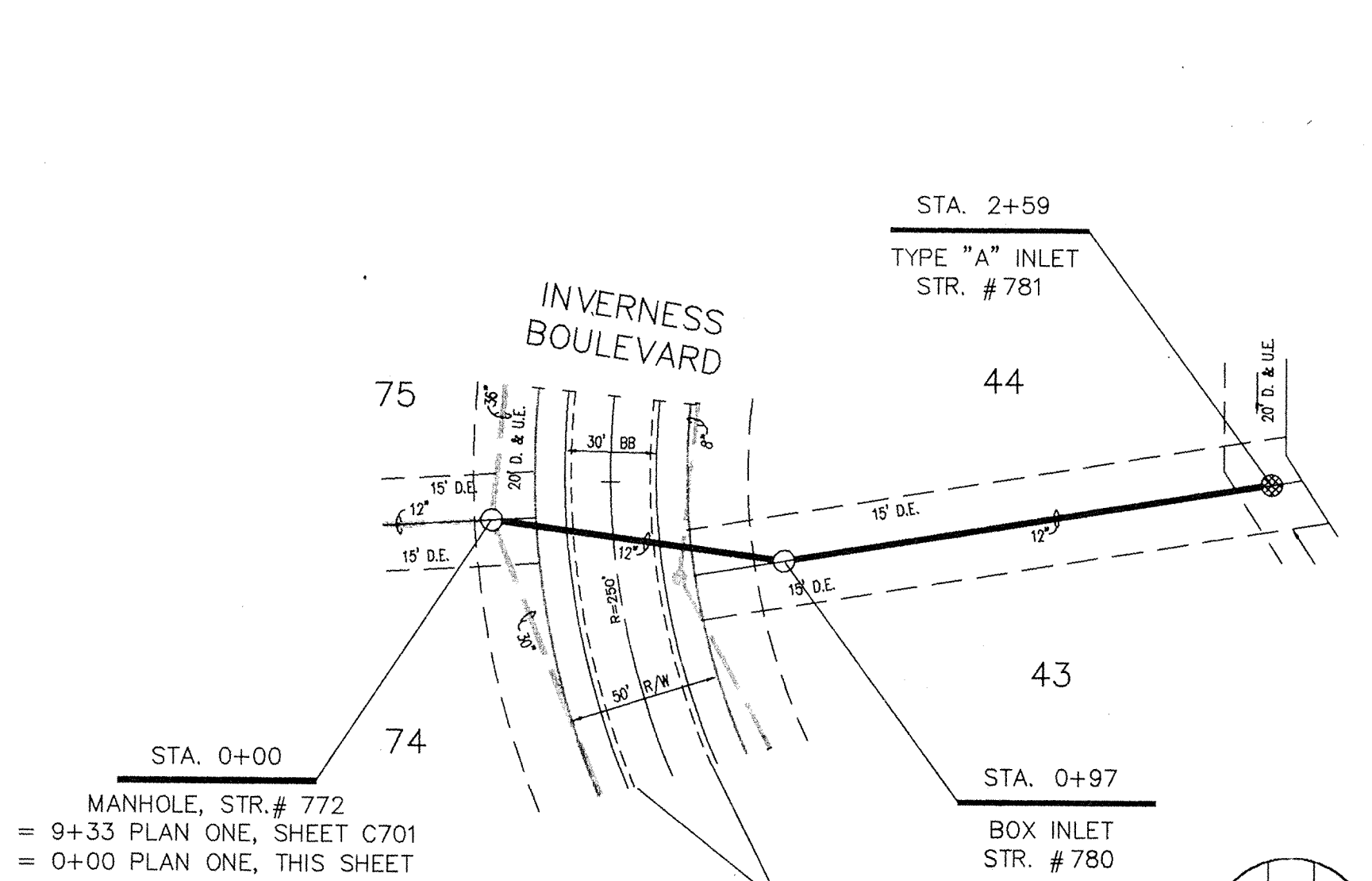
VIEN COUNTY  
 INDIANA  
 1823

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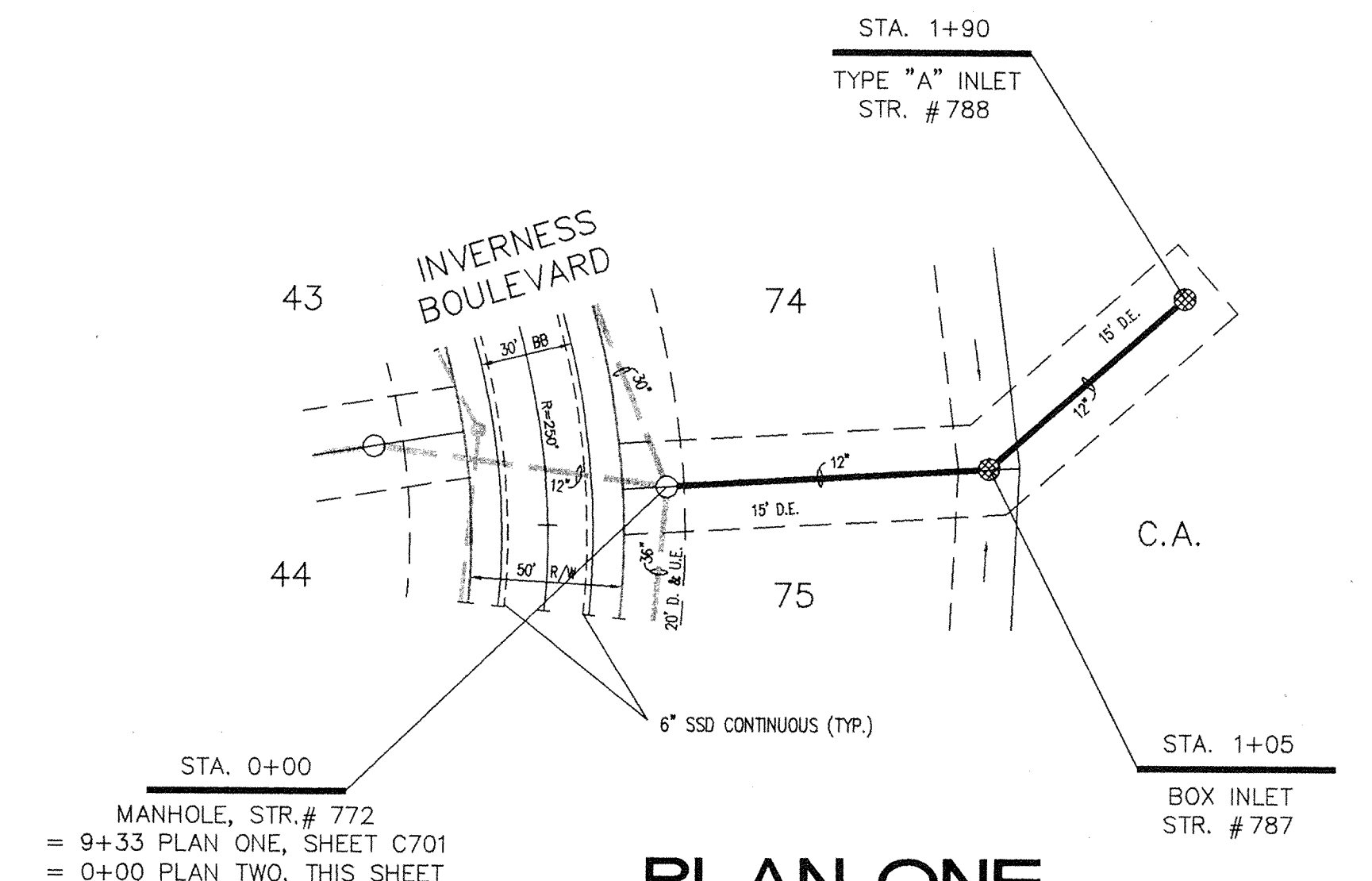
Entry Date: 7-22-04  
 Entered by: JAH



**PLAN THREE**

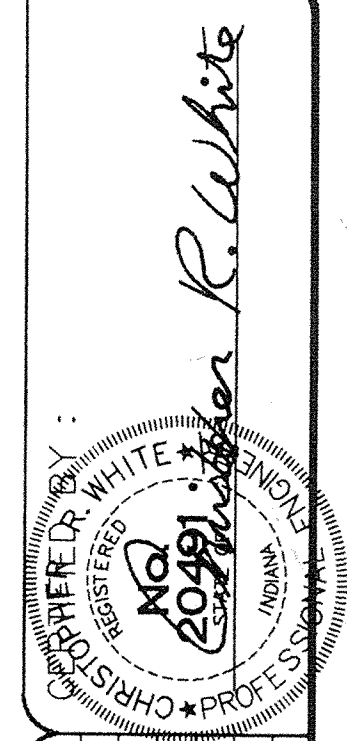


**PLAN TWO**



**PLAN ONE**

AS-BUILT INFORMATION  
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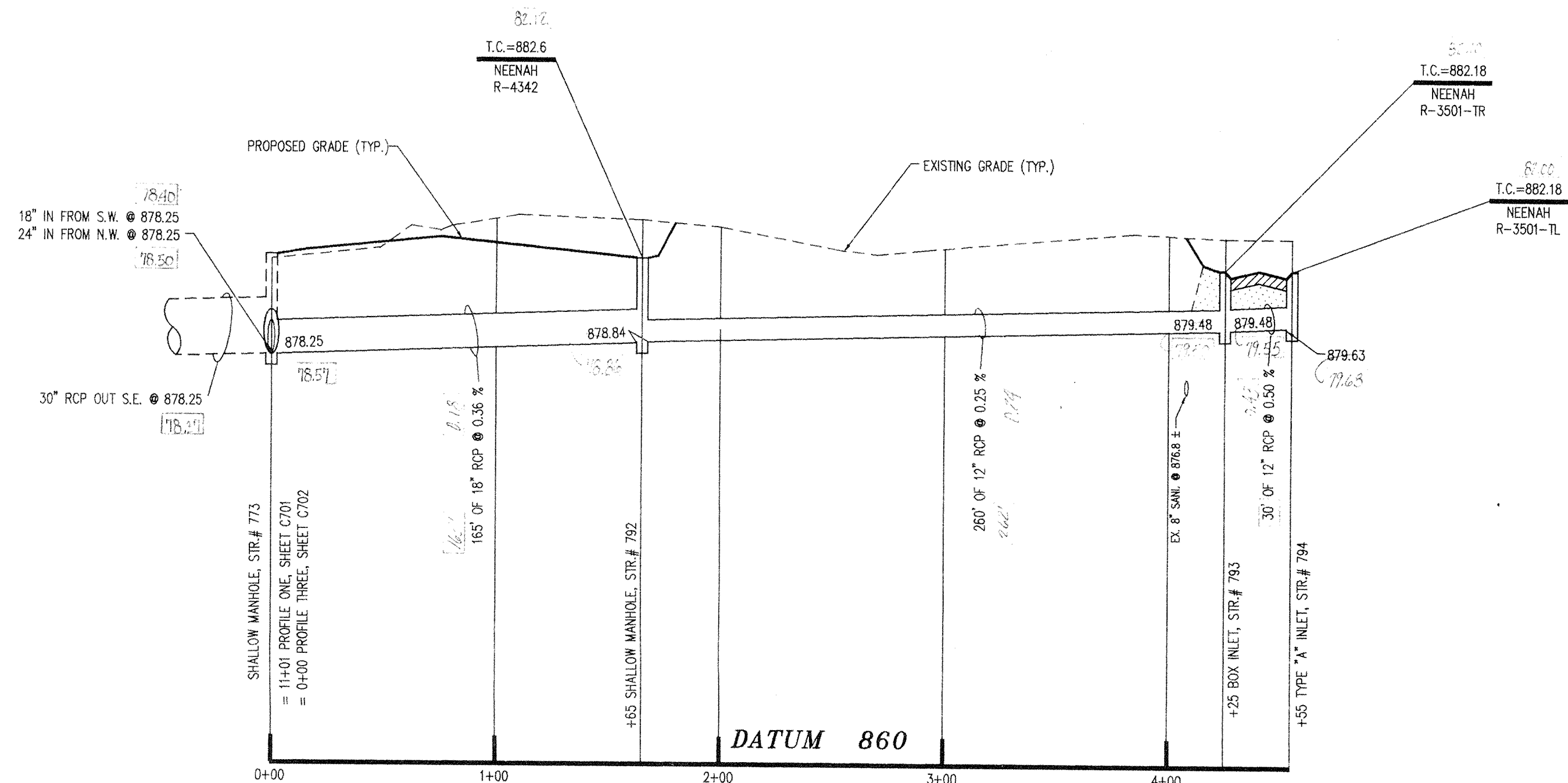


REV. DATE:	04/24/95
REV. BY:	
NO.:	

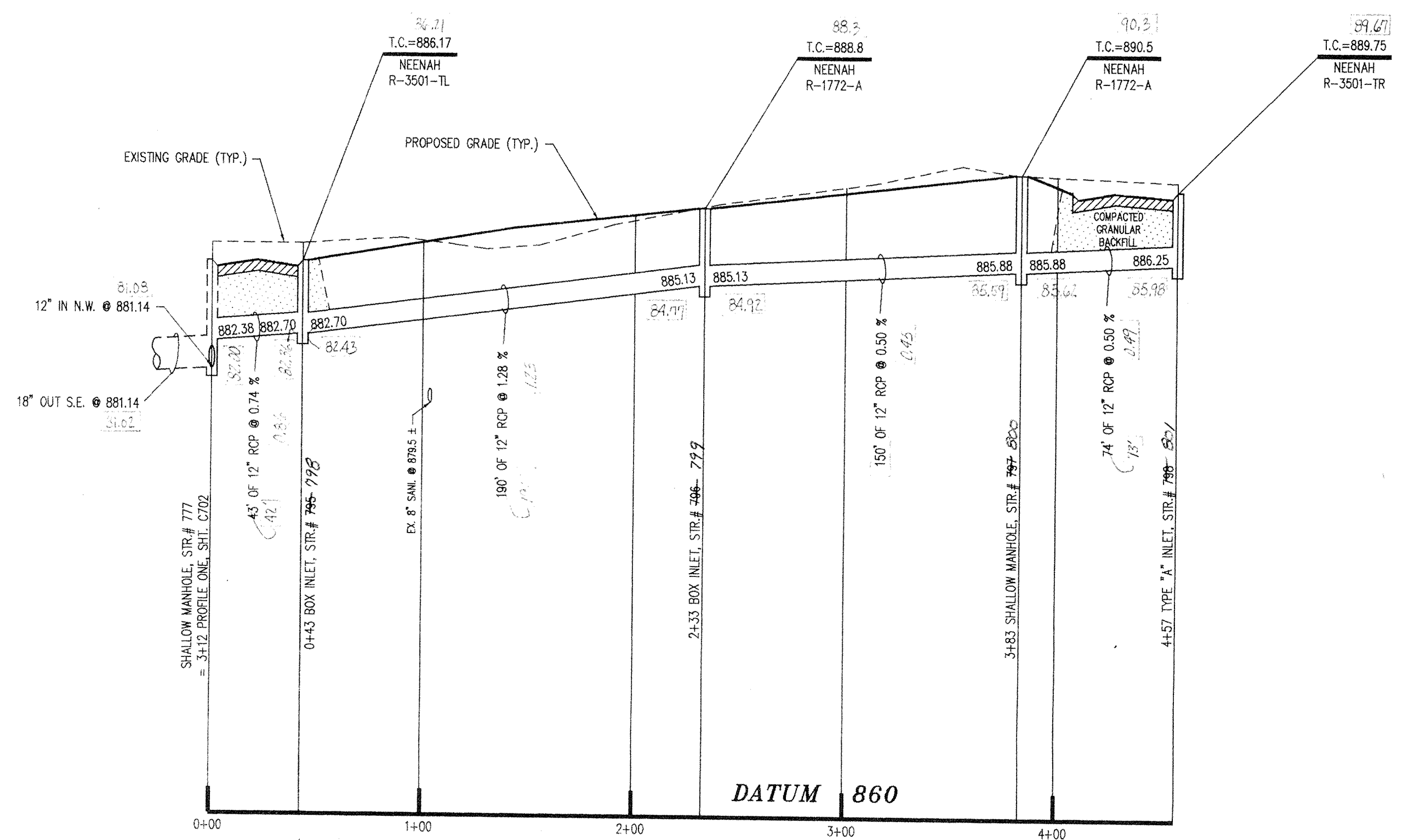
**DAVIS DEVELOPMENT, L.P.**  
 3755 EAST 82nd ST. SUITE 120  
 INDIANAPOLIS, INDIANA 46240  
 OFFICE 317-595-2900  
 FAX 317-595-2930

PROJECT: **SHELBORNE GREENE SECTION TWO**  
 TITLE: **STORM SEWER PLAN & PROFILE**  
 DRAWN BY: **RS**  
 DATE: 11/21/94  
 SCALE: VERT: 1"=5'  
 HORZ: 1"=50'

FILED  
 DEC 04 1997  
 OFFICE OF HAMILTON COUNTY SURVEYOR  
**C703**



**PROFILE TWO**

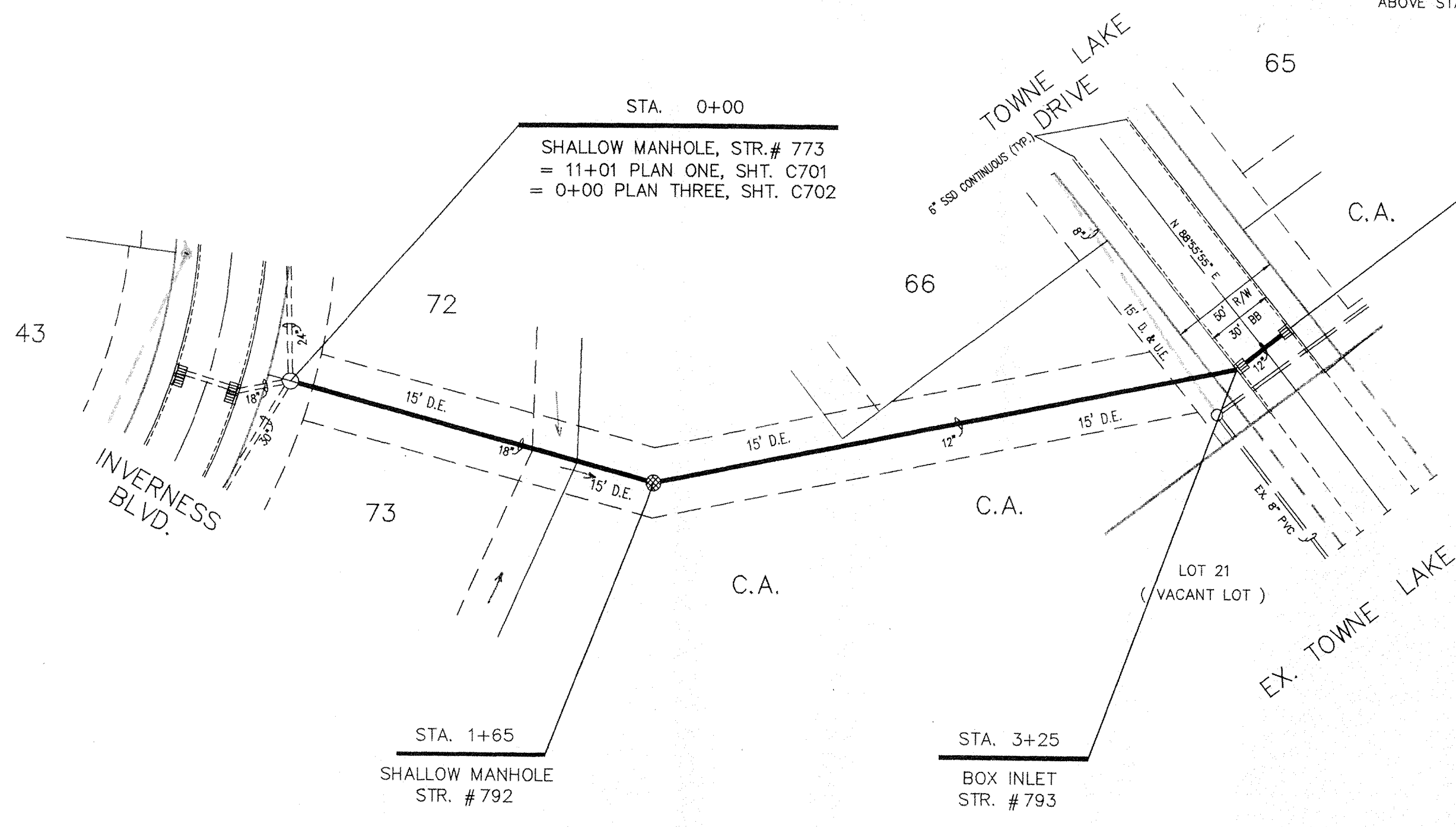


**PROFILE ONE**

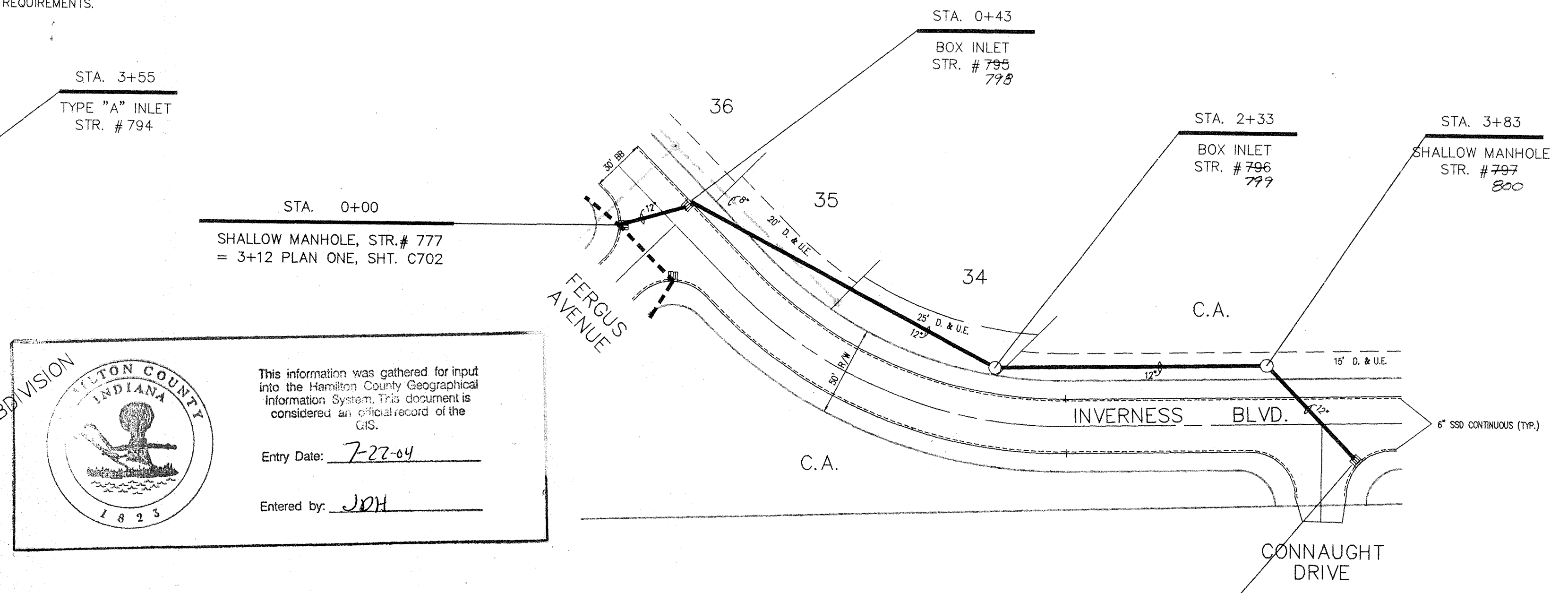
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 CERTIFIED: *Christopher R. White* 11-5-97  
 CHRISTOPHER R. WHITE DATE:



**PLAN TWO**

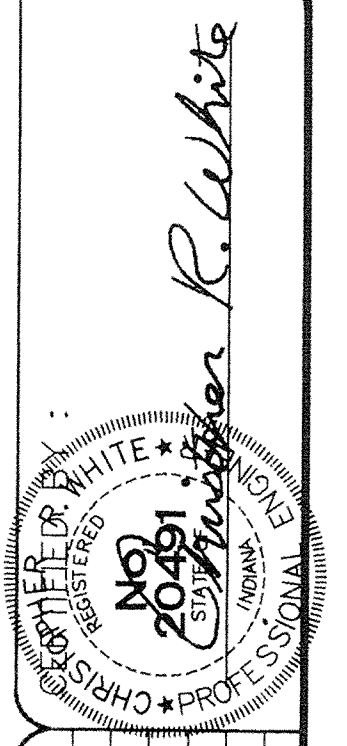


**PLAN ONE**

INDIANA HAMILTON COUNTY  
 This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.  
 Entry Date: 7-22-04  
 Entered by: JPH

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 FOR CALLS OUTSIDE OF INDIANA



REV. DATE	BY	REVISIONS
03/07/95		PROPOSED LOCATION PER COMMENTS
03/24/95		ADDED NEW RINGS PER SHEET 1201 ADDITIONS

**DAVIS DEVELOPMENT, L.P.**  
 3755 EAST 82nd ST. SUITE 120  
 INDIANAPOLIS, INDIANA 46240  
 OFFICE 317-595-2900  
 FAX 317-595-2930

PROJECT: **SHELBORNE GREENE SECTION TWO**  
 TITLE: **STORM SEWER PLAN & PROFILE**  
 DRAWN BY: *JPH*  
 DATE: 11/21/94  
 SCALE: VERT: 1"=5'  
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